

**City of Laconia**  
**Zoning Board of Adjustment**  
Tuesday, January 20, 2026 - 6:30 PM  
City Hall in the Armand A. Bolduc City Council Chamber

1. CALL TO ORDER
2. ROLL CALL
3. RECORDING SECRETARY
4. STAFF IN ATTENDANCE
5. ACCEPTANCE OF MINUTES FROM PREVIOUS MEETINGS
6. EXTENSIONS
7. CONTINUED PUBLIC HEARINGS, CONSIDERATION AND POSSIBLE VOTE Note: The Purpose Of This Agenda Section Is For The Board To Continue The Public Hearing For The Applicant And The Public To Provide Input. The Board May Also Deliberate The Application, Decide And Conduct A Final Vote At This Time.
8. PUBLIC HEARINGS, POSSIBLE CONSIDERATION AND VOTE Note: The Purpose Of This Agenda Section Is For The Board To Have A Presentation From The Applicant And Open A Public Hearing For The Public To Provide Input. The Board May Also Deliberate The Application, Decide And Conduct A Final Vote At This Time.
- 8.I. ZB2026-026; 122 Paugus Park Rd (287-178-7)

The applicant is seeking a variance to permit the relief from the 70% required green space in order to construct additions on both sides of the house.

Documents:

[APPLICATION.PDF](#)  
[SITE PLANS.PDF](#)  
[INTERNAL PRINTS.PDF](#)  
[IMAGES.PDF](#)

- 8.II. ZB2026-027; 15 Doe Ave (145-64-4)

The applicant is seeking a variance to allow 5' setback on the west side property line.

Documents:

[APPLICATION.PDF](#)  
[SURVEY.PDF](#)

- 8.III. ZB2026-029; 17 Wentworth Cove Rd (255-241-2)

The applicant is seeking a variance to permit the encroachment of 81 sq ft of a raised deck into the 50' setback from Lake Winnepesaukee.



Documents:

[APPLICATION.PDF](#)  
[SITE PLANS.PDF](#)

8.IV. ZB2026-030; 238 White Oaks Rd (167-269-1)

The applicant is seeking a Special Exception to allow for the use of a campground in the RR1 and RR2 Districts.

Documents:

[APPLICATION.PDF](#)  
[NARRATIVE.PDF](#)  
[BUILDING PLANS.PDF](#)  
[IMAGE.PDF](#)  
[PROPERTY CARD.PDF](#)  
[WHITE OAKS UPDATED APPRAISER OPINION.PDF](#)  
[LETTER IN SUPPORT OF APPLICATION ZB2026-018 11.14.25.PDF](#)  
[WOR PG 1.PDF](#)

9. OTHER BUSINESS

9.I. ZB2026-028; 33 White Oaks Rd (278-241-29)

The applicant is requesting a rehearing of application ZB2025-022 in accordance with RSA 677.

ZB2025-22: This application was approved by the Zoning Board on November 17, 2025. The applicant was granted a variance from Article 235 15 C (2) Application of the CR district dimensional requirements for a distance of 500' from the district boundary whereas 100' is otherwise allowed.

Documents:

[MOTION FOR REHEARING.PDF](#)

10. ADJOURNMENT

This meeting facility is ADA accessible. Any person with a disability who wishes to attend this public meeting and needs additional accommodations, please contact the department at (603) 527-1264 at least 72 hours in advance so necessary arrangements can be made.





Application #:  
Fees Paid:  
Check #:  
Receipt #:

231026-0260  
\$175.00  
24083

### ZONING BOARD OF ADJUSTMENT VARIANCE APPLICATION

Name of Applicant: Marie C. McKay Revocable Trust

Mailing Address: 15 Back Road, Chichester, NH 03258

Owner (If same as applicant, write "same"): Same

Mailing Address: Same

Tax Map/ Lot # (s): Tax Map 287, Lot 178-7 Zoning District (s): RS w/ Shoreland Overlay

Street Address: 122 Paugus Park Road, Laconia NH 03247

#### OWNER AUTHORIZATIONS & STATEMENTS OF ASSURANCE:

I hereby make application to the City of Laconia for the above-referenced property (ies) and the development as described. To the best of my knowledge the information provided herein is accurate and is in accordance with the Zoning Ordinance and land use regulations of the City, except where waivers are requested. The City of Laconia Zoning Board and/or city employees are authorized to enter the property (ies) for purposes of reviewing this proposal and for inspecting improvements as a result of an approval of this proposal. I understand that I am responsible for appearing, or having someone appear on my behalf, at any and all meetings before the Zoning Board.

Sign as appropriate (If agent or non-person please attach certification)

NOTE: Please attach an Applicant Contact Worksheet

#### PROPERTY OWNER(S)

Marie McKay

Printed Name Here  
Signed by:

Marie McKay  
Signature of Property Owner(s)

11/14/2025

Date

#### AGENT(S)

Joseph Berry

Printed Name Here

Joseph Berry  
Signature of Agent(s)

12-10-25

Date

NOTE: This application is not acceptable unless all required statements have been made. Additional information may be supplied on a separate sheet if the space provided is inadequate.

#### REQUIRED ATTACHMENTS:

- Abutters List (from <https://www.axisgis.com/LaconiaNH/>)
- Envelopes and Certified Mail Receipts (Filled out for all abutters)
- Plot Plan (Showing dimensions of proposed building, setback requirements, and encroachments into any setbacks.)



235-19 (F) (2) (d)

A variance is requested from article IV section        of the Zoning Ordinance to permit the relief from the 70% required green space in order to construct additions on both side of the house.

Facts in support of granting the Variance:

1. Granting the variance would not be contrary to the public interest because:

See attached narrative

2. If the variance were granted, the spirit of the ordinance would be observed because:

See attached narrative

3. Granting the variance would do substantial justice because:

See attached narrative

4. If the variance were granted, the values of the surrounding properties would not be diminished because:

See attached narrative

5. Unnecessary Hardship

a. Owing to special conditions of the property that distinguish it from other properties in the area, denial of the variance would result in unnecessary hardship because:

i. No fair and substantial relationship exists between the general public purposes of the ordinance provision and the specific application of that provision to the property because:

See attached narrative

ii. The proposed use is a reasonable one because:

See attached narrative

-or-

b. If the criteria in subparagraph (a) are not established, an unnecessary hardship will be deemed to exist if, and only if, owing to special conditions of the property that distinguish it from other properties in the area, the property cannot be reasonably used in strict conformance with the ordinance, and a variance is therefore necessary to enable a reasonable use of it.

See attached narrative





## **BERRY SURVEYING & ENGINEERING**

335 Second Crown Point Road

Barrington, NH 03825

Phone: (603) 332-2863

Fax: (603) 335-4623

[www.BerrySurveying.Com](http://www.BerrySurveying.Com)

September 25, 2025

Laconia Zoning Board of Adjustment  
45 Beacon Street E  
Laconia, NH 03246

RE: Marie C. McKay Revocable Trust  
Variance Request  
Article IV, Section 235-19(F)(2)(d)  
Tax Map 287, Lot 178-7  
122 Paugus Park Road

Chair Person and Members of the Laconia Zoning Board of Adjustment,

On behalf of the Marie C. McKay Revocable Trust, Berry Surveying & Engineering (BS&E) is submitting a variance request for your review regarding Article IV, Section 235-19(F)(2)(d). Specifically, the applicant is seeking relief from the 70% green space requirement to allow for the construction of an addition to the existing home.

BS&E has conducted a complete boundary and existing conditions plan in preparation for this request as well as a request to New Hampshire Department of Environmental Services (NHDES) Shoreland Program. Please find the Existing Conditions Plan, and Proposed Conditions Plan and construction details.

The parcel consists of an existing non-conforming single-family home on an existing non-conforming lot. The existing parcel contains 60.75' of frontage and 0.25± acres of land.

The proposal involves constructing an addition and a covered porch on the westerly and southerly sides of the home, generally the front, and away from the water. The proposed addition will comply with all required NHDES & City setbacks.

As part of the project, the applicant is also proposing stormwater management improvements that meet NHDES Shoreland and local stormwater standards. These measures are designed to improve lake water quality. Specifically, all roof runoff from the south side of the house will be collected and directed into a dry well located at the southeast rear corner of the home.

Currently, the site includes a paved driveway extending from Paugus Park Road to the house. The proposal includes replacing this with porous pavement from the property boundary to the garage. This modification will reduce the impervious surface area and allow for infiltration of driveway runoff. Overall, the project will result in a 3.33% reduction in direct impervious surface coverage, and reduces the effective impervious coverage (EIC) by a considerable amount more.



**1. Article IV, Section 235-19(F)(2)(d). – relief from the 70% green space requirement**

To the merits of the five statutory criteria for the Zoning Board to grant a variance we offer the following:

1. *"Granting of the variance would not be contrary to the public interest."*
  - The public interest, with respect to this section is to ensure there is a balance of development on project sites with the retainage of vegetation. The fundamental purpose of this within the location is to ensure water quality to lake is maintained from project sites. However, in this case, as noted above, the green space is being replaced with other porous technology, and therefore there is no degradation in the stormwater running to the lake. With the approval of the variance, there will be no notable difference in this property upon completion and will be more conforming with others on the street. For this reason, there will be no change in the essential character of the neighborhood.
2. *"Granting the variance would be consistent with the spirit of the Ordinance."*
  - Much like the public interest, the spirit of the ordinance is to ensure proper development of properties along the lake. As noted above, though the green space is being reduced, the impervious surface is also being reduced by an innovative technology. Additionally, the runoff from the addition on the home is being captured and sent to an infiltration device, further improving stormwater on the site. Due to all of the benefits, the health, welfare and safety of the public is met with regards to the spirit of the green space requirements.
3. *"Granting of the variance would do substantial justice."*
  - The benefit to the applicant far outweighs any potential detriment to the ordinance by allowing the applicant to expand while improving stormwater on site, which is the underlying purpose of the green space requirement. The site's stormwater quality is improved with the implementation of Low Impact Development (LID) devices, which is in line with the local stormwater ordinances and with the NHDES Shoreland program.
4. *"Granting the variance will not result in diminution of surrounding property values."*
  - The surrounding properties will not be diminished in value by the construction of the addition on the single-family home in a single family neighborhood. In fact, it will bring the current home closer to conforming with the sizing currently found on the street and therefore will help raise abutting values.
5. *"Special conditions exist such that literal enforcement of the Ordinance will result in unnecessary hardship to the applicant as defined under applicable law."*
  - In this case the special condition of this parcel is its non-conforming lot size when compared to the impervious foot print – green space foot print, when compared to others in the area. There is no reasonable alternative to this addition, when compared to the other surrounding uses, while considering the vast stormwater management improvement proposed despite the redevelopment. Therefore,



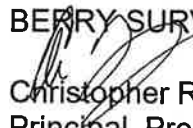


denial will cause an unnecessary hardship to the applicant. Though non-conformity in size is not special to the subject lot, the general size of the lot and the dimensions of the home are when compared to the abutting lots to the east and west.

- The use is reasonable when compared to others in the area. The home is currently multiple hundred square feet smaller than the closest abutters. Each of the abutting lots have non-conformity in structure or impervious foot print which make this proposal as reasonable, if not more so, than the other like uses in the area.

Please let us know if you have further questions.

**BERRY SURVEYING & ENGINEERING**

  
Christopher R. Berry – Project Manager  
Principal, President



**BERRY SURVEYING & ENGINEERING**

335 Second Crown Pt. Rd., Barrington, NH 03825

(603) 332-2863 / (603) 335-4623 FAX

[www.BerrySurveying.Com](http://www.BerrySurveying.Com)





## BERRY SURVEYING & ENGINEERING

335 Second Crown Point Road

Barrington, NH 03825

Phone: (603) 332-2863

Fax: (603) 335-4623

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September 16, 2025

Re: Letter of Authorization  
Marie C. McKay Revocable Trust  
Variance request  
122 Paugus Park Road

To whom it may concern:

We, the owners of Tax Map 287, Lot 178-7 authorize any member of Berry Surveying & Engineering to represent us as the agents for a project located in Laconia, NH on Paugus Park Road for the purpose of lot development. This includes any and all local, state and federal approvals needed for final approval of the project.

Signed by: Marie McKay 11/14/2025  
Owner 8DF01782A10A421...





## **BERRY SURVEYING & ENGINEERING**

335 Second Crown Point Road

Barrington, NH 03825

Phone: (603) 332-2863

Fax: (603) 335-4623

[www.BerrySurveying.Com](http://www.BerrySurveying.Com)

**December 10, 2025**

### **Abutters List**

#### **Owner of Record**

##### **Tax Map 287, Lot 178-7**

Marie C McKay Rev Trust  
Marie C McKay Trustee  
15 Back Rd  
Chichester, NH 03258  
*Book 2818, Page 966*

#### **Abutters**

##### **Tax Map 287, Lot 178-6**

Antonius T & Karen M Bentlage  
118 Paugus Park Rd  
Laconia, NH 03246  
*Book 3286, Page 986*

##### **Tax Map 287, Lot 178-8**

Maria E Cantor Trust  
Maria E Cantor Trustee  
128 Paugus Park Rd  
Laconia, NH 03246  
*Book 3560, Page 353*

#### **Professionals**

Kenneth A. Berry, PE  
Christopher R. Berry, LLS  
Berry Surveying & Engineering  
335 Second Crown Point Road  
Barrington, NH 03825





DEPARTMENT OF PLANNING, ZONING & CODE  
45 BEACON STREET, EAST  
☎ 603-527-1264  
📠 603-524-2164

### APPLICANT CONTACT SHEET

Application Type: Variance Application #: \_\_\_\_\_

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Name of Applicant: Marie C. Mckay Revocable Trust

Mailing Address: 15 Back Road, Chichester, NH 03258

Phone: 603-493-2417 E-mail: mckay.m@comcast.net

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Name of Agent: Joseph Berry or any member of Berry Surveying & Engineering

Mailing Address: 335 Second Crown Point Road, Barrington, NH 03825

Phone: 603-332-2863 E-mail: joeberry@berrysurveying.com

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Property Owner 1: Same as applicant

Mailing Address: \_\_\_\_\_

Phone: \_\_\_\_\_ E-mail: \_\_\_\_\_

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Property Owner 2: Same as applicant

Mailing Address: \_\_\_\_\_

Phone: \_\_\_\_\_ E-mail: \_\_\_\_\_

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Emergency Contact Person: Joseph Berry Phone: 603-332-2863



#1



#3



#2



#4



PROJECT PHOTOS  
MARIE C. MCKAY  
122 PAUGUS PARK ROAD  
LACONIA, N.H.  
TAX MAP 287, LOT 178, SUB 7

**BERRY SURVEYING & ENGINEERING**

335 SECOND CROWN POINT RD.  
BARRINGTON, N.H. 332-2863

SCALE : NONE

DATE : SEPTEMBER 16, 2025

FILE NO. : DB 2024-143



#5



#7



#6



#8



PROJECT PHOTOS  
MARIE C. MCKAY  
122 PAUGUS PARK ROAD  
LACONIA, N.H.  
TAX MAP 287, LOT 178, SUB 7

## BERRY SURVEYING & ENGINEERING

335 SECOND CROWN POINT RD.  
BARRINGTON, N.H. 332-2863

SCALE : NONE

DATE : SEPTEMBER 16, 2025

FILE NO. : DB 2024-143



#9



#11



#10



PROJECT PHOTOS  
MARIE C. MCKAY  
122 PAUGUS PARK ROAD  
LACONIA, N.H.  
TAX MAP 287, LOT 178, SUB 7

**BERRY SURVEYING & ENGINEERING**

335 SECOND CROWN POINT RD.  
BARRINGTON, N.H. 332-2863

SCALE : NONE

DATE : SEPTEMBER 16, 2025

FILE NO. : DB 2024-143





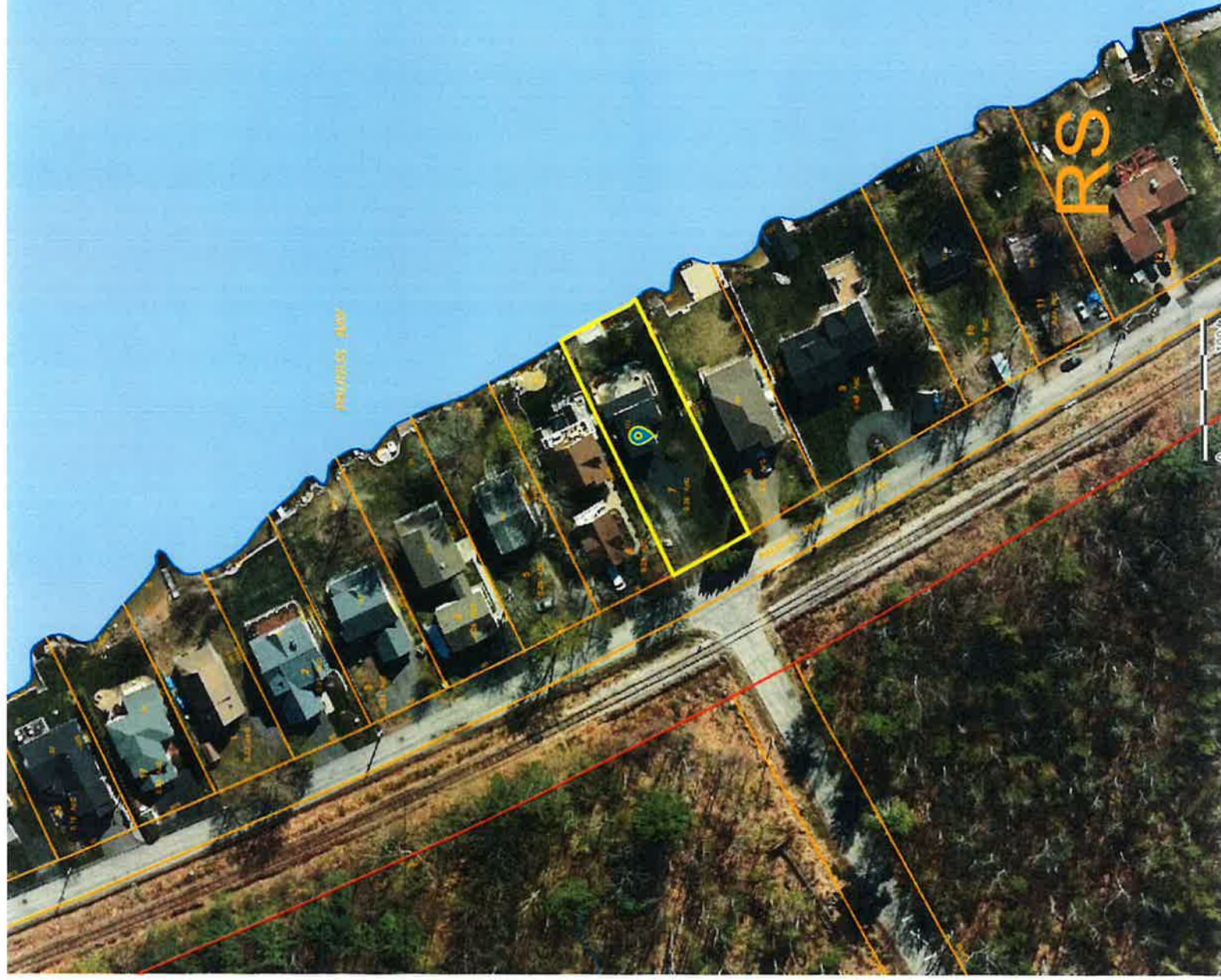


PAUGUS BAY

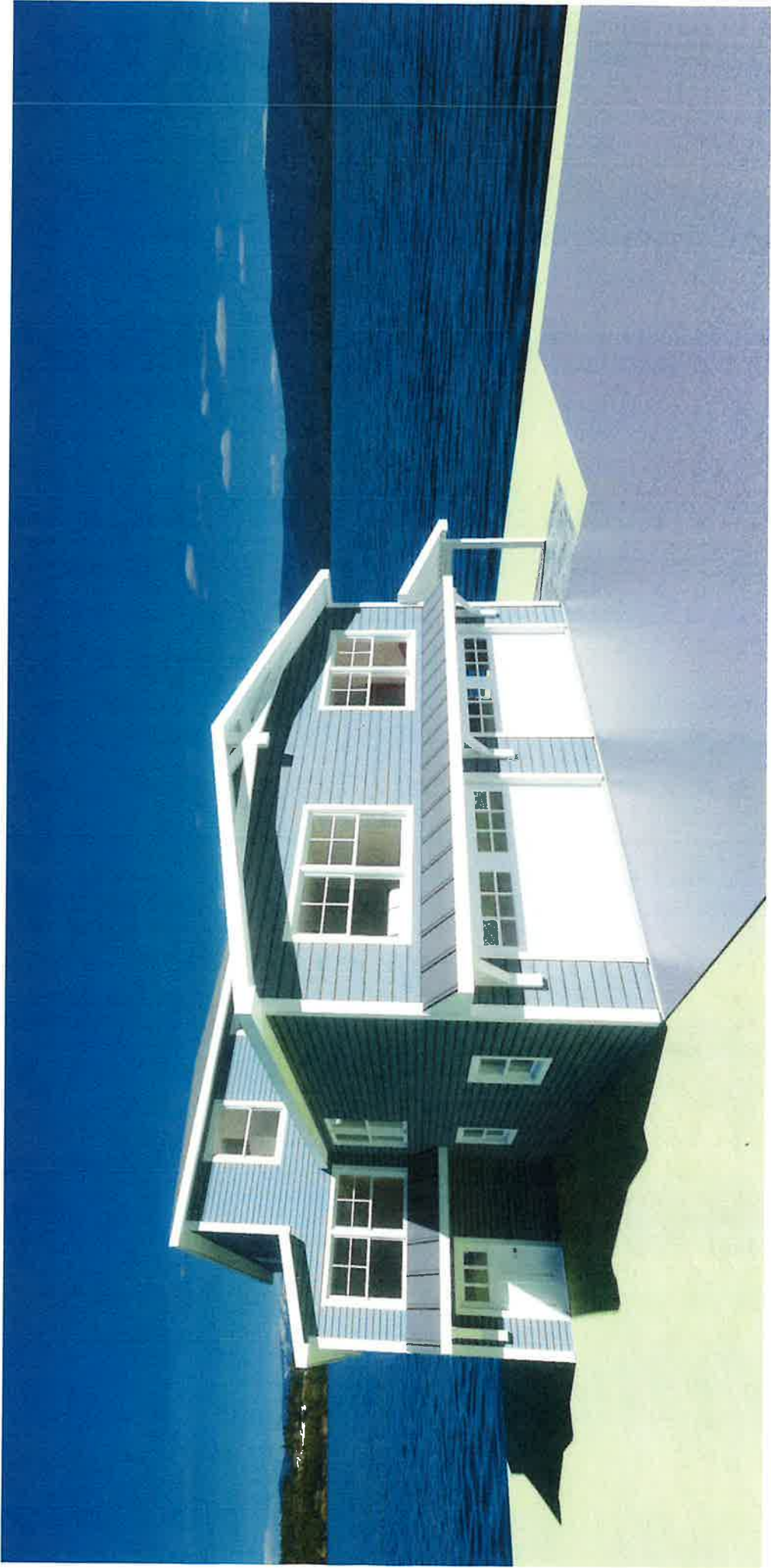
PAUGUS BAY

RS

PAUGUS BAY







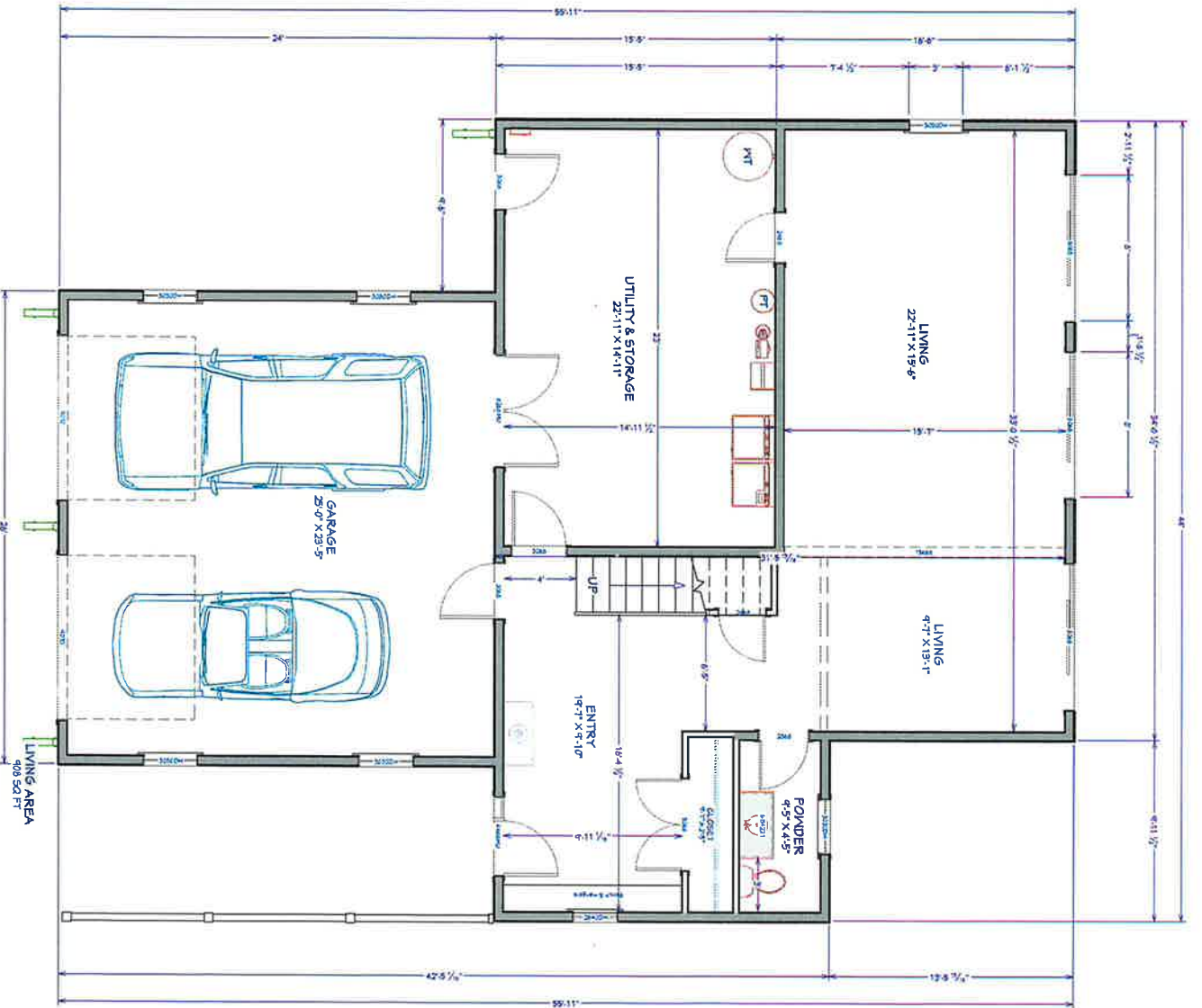






Marie McKay  
122 Paugus Park Road  
Laconia, N.H.

Title: McKay Addition & Remodel  
Revised: 6-26-2025  
By: OLC, JRL  
Revised: 5/21/25

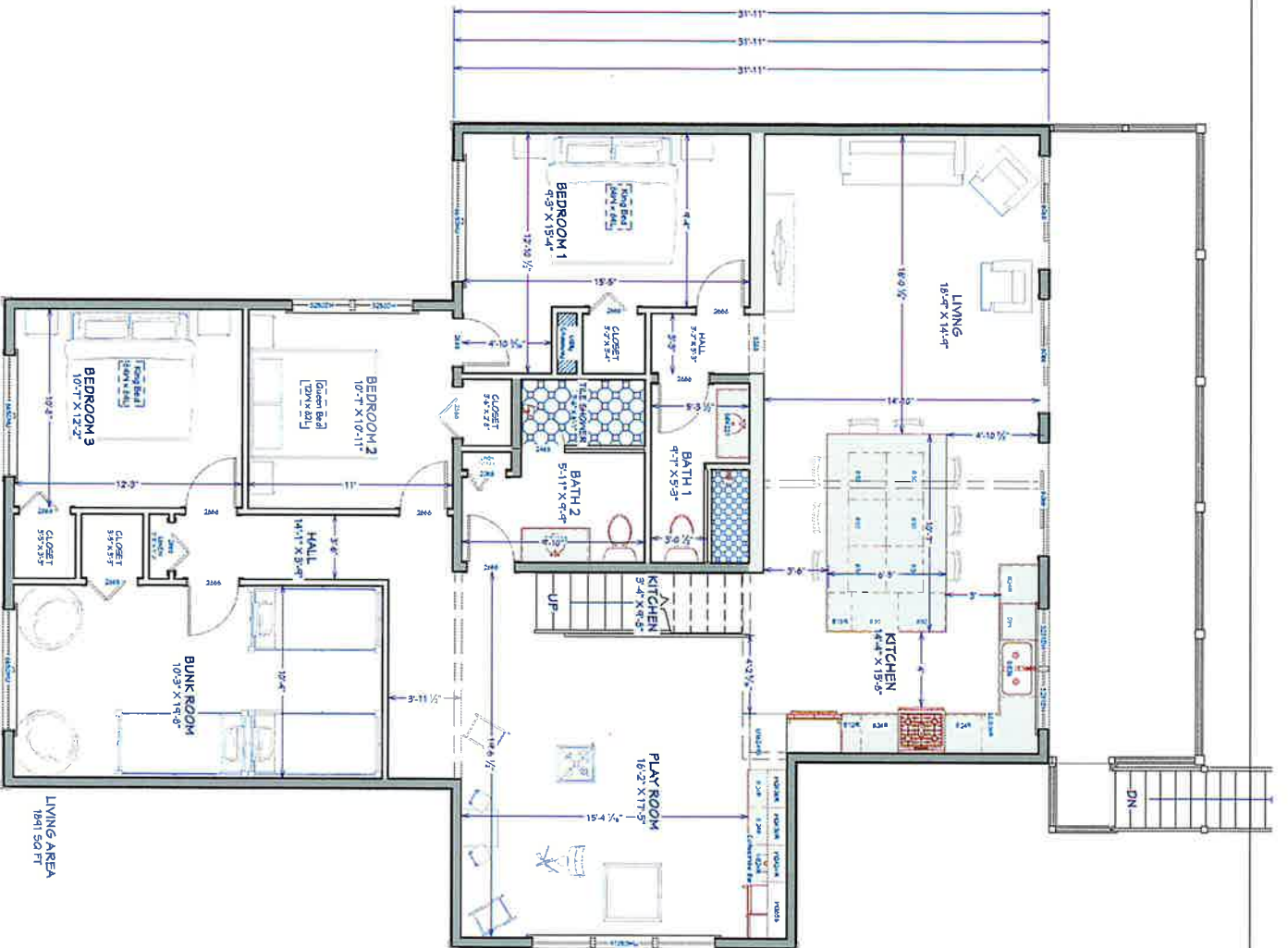


Ground Floor



Marie McKay  
122 Paugus Park Road  
Laconia, N.H.

Title: McKay Addition & Remodel  
Revised: 6-26-2025  
By: OLC, JRC  
Revised: 5/21/25

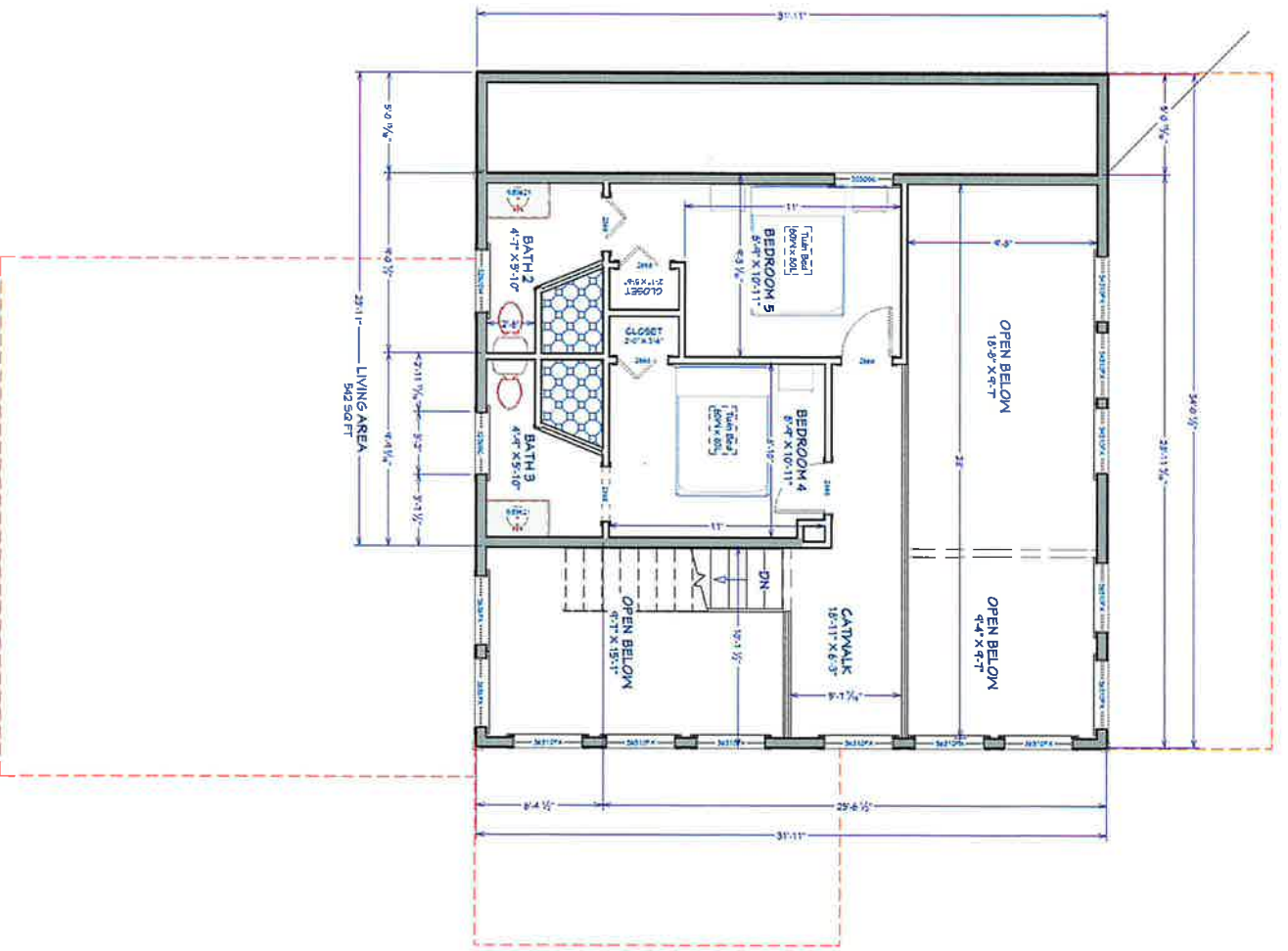


1st Floor



**Marie McKay**  
**122 Paugus Park Road**  
**Laconia, N.H.**

Title: McKay Addition & Remodel  
 Revised: 6-28-2025  
 By: OLC, JRL  
 Revised: 5/21/25



**2nd Floor**



# PLAN REFERENCES:

- "PLAN OF SHORE LOTS; FOR; W.M. BISSON"  
BY: L.K. PERLEY  
DATED: AUGUST 23, 1931  
B.C.R.D. PLAN #PB1-34 & 35
- "LEW PERLEY FIELDBOOK DATA"  
BY: L.K. PERLEY  
ON FILE AT NH STATE ARCHIVES
- "RIGHT-OF-WAY AND TRACK MAP; THE CONCORD & MONTREAL R.R."  
BY: OFFICE OF VALUATION ENGINEERS  
DATED: JUNE 30, 1914  
V.21-66  
ON FILE WITH NHDOT AND THIS OFFICE
- "PLAN OF PAUGUS PARK SHORE LOTS EXTENSION; FOR; W.M. BISSON"  
BY: UNKNOWN (ASSUMED TO BE PERLEY)  
DATED: AUGUST 11, 1944  
B.C.R.D. PLAN #PB18, PAGE 1370
- "FOUNDATION LOCATION PLAN; LOCATED ON; 128 PAUGUS PARK ROAD, LACONIA"  
BY: DMC SURVEYORS  
DATED: DECEMBER 13, 2008  
ON FILE AT THE CITY OF LACONIA
- "BOUNDARY PLAN; LAND OF; MARIE C. MCKAY REVOCABLE TRUST; 122 PAUGUS PARK ROAD; LACONIA, N.H.; TAX MAP 287, BLOCK 178, LOT 7"  
BY: BERRY SURVEYING & ENGINEERING  
DATED: FEBRUARY 5, 2025  
FILE #DB2024-143

## SECTION AREAS:

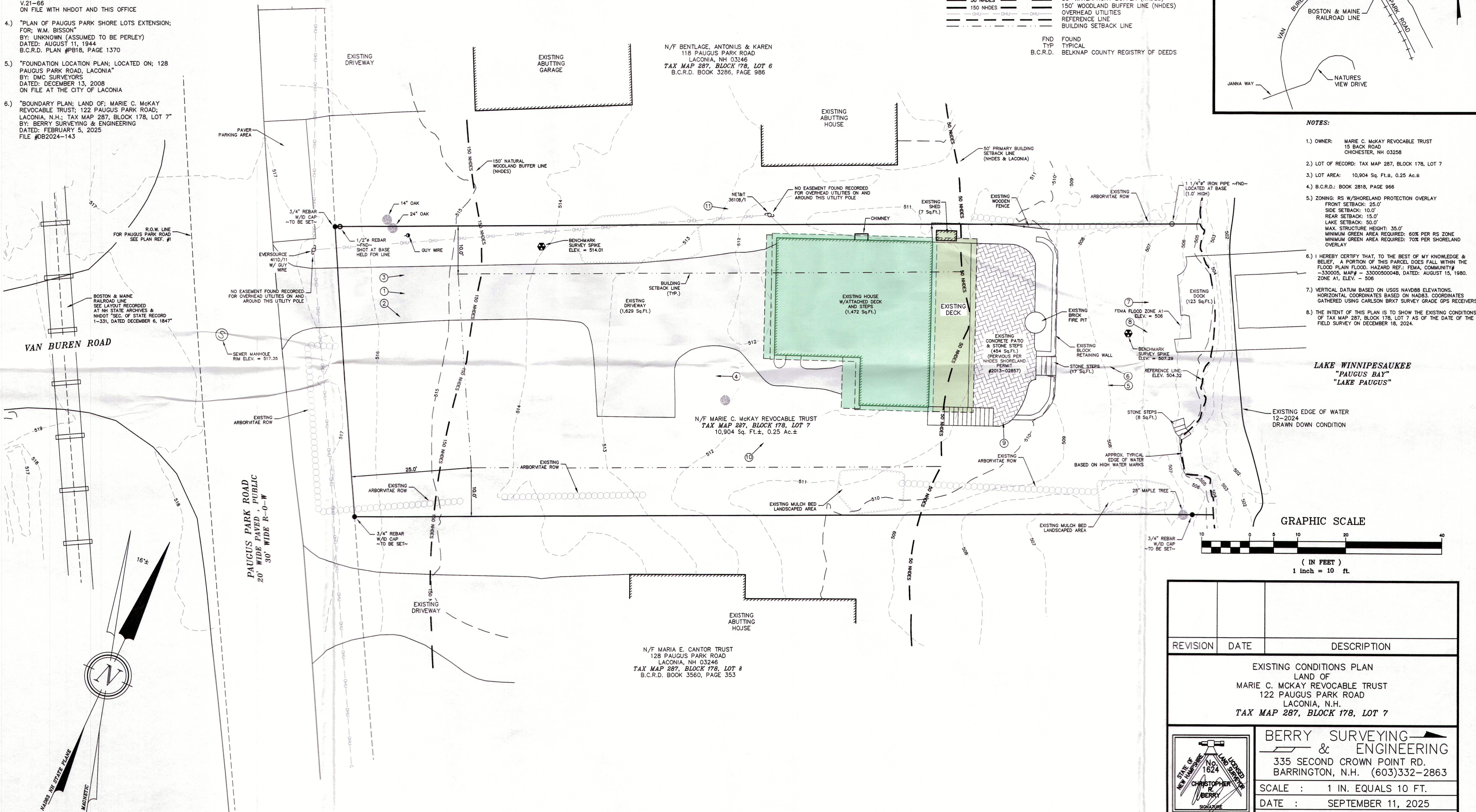
REFERENCE LINE TO 50'	3,205 Sq.Ft.
50' TO 150'	6,201 Sq.Ft.
150' TO PROPERTY LINE	1,468 Sq.Ft.
TOTAL AREA WITHIN 250' OF REFERENCE LINE:	10,904 Sq.Ft.
TOTAL LOT AREA:	10,904 Sq.Ft.

## EXISTING IMPERVIOUS CALCULATIONS:

TOTAL LOT AREA WITHIN 250'	10,904 Sq.Ft.
EXISTING IMPERVIOUS:	
HOUSE, OVERHANGS & DECKS	1,472 Sq.Ft.
DRIVEWAY	1,629 Sq.Ft.
WOODEN DOCK	123 Sq. Ft.
STONE STEPS	25 Sq.Ft.
SHED	7 Sq.Ft.
TOTAL EXISTING IMPERVIOUS:	3,256 Sq.Ft.
TOTAL EXISTING % IMPERVIOUS:	29.86 %
TOTAL EXISTING UN-ALTERED:	0 Sq.Ft.
TOTAL EXISTING % UN-ALTERED:	0.00 %

## LEGEND:

IRON PIPE ~FND~	50' WATERFRONT BUFFER (NHDES)
REBAR ~FND~	150' WOODLAND BUFFER LINE (NHDES)
UTILITY POLE	OVERHEAD UTILITIES
PHOTO POINT	REFERENCE LINE
PROPERTY LINE	BUILDING SETBACK LINE
BENCHMARK	
TREES	
50 NHDES	
150 NHDES	
FND	FOUND
TYP	TYPICAL
B.C.R.D.	BELKNAP COUNTY REGISTRY OF DEEDS



## NOTES:

- OWNER: MARIE C. MCKAY REVOCABLE TRUST  
15 BACK ROAD  
CHESTER, NH 03258
- LOT OF RECORD: TAX MAP 287, BLOCK 178, LOT 7
- LOT AREA: 10,904 Sq. Ft. ±, 0.25 Ac. ±
- B.C.R.D.: BOOK 2818, PAGE 966
- ZONING: RS W/SHORELAND PROTECTION OVERLAY  
FRONT SETBACK: 25.0'  
SIDE SETBACK: 10.0'  
REAR SETBACK: 15.0'  
LAKE SETBACK: 50.0'  
MAX. STRUCTURE HEIGHT: 35.0'  
MINIMUM GREEN AREA REQUIRED: 60% PER RS ZONE  
MINIMUM GREEN AREA REQUIRED: 70% PER SHORELAND OVERLAY
- I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE & BELIEF, A PORTION OF THIS PARCEL DOES FALL WITHIN THE FLOOD PLAN FLOOD HAZARD REF: FEMA, COMMUNITY# 330005, MAP# - 33000500048, DATED: AUGUST 15, 1980, ZONE A1, ELEV. - 506
- VERTICAL DATUM BASED ON USGS NAVD88 ELEVATIONS. HORIZONTAL COORDINATES BASED ON NAD83. COORDINATES GATHERED USING CARLSON BRX7 SURVEY GRADE GPS RECEIVERS.
- THE INTENT OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS OF TAX MAP 287, BLOCK 178, LOT 7 AS OF THE DATE OF THE FIELD SURVEY ON DECEMBER 18, 2024.

LAKE WINNIPESAUKEE  
"PAUGUS BAY"  
"LAKE PAUGUS"

## GRAPHIC SCALE

( IN FEET )  
1 inch = 10 ft.

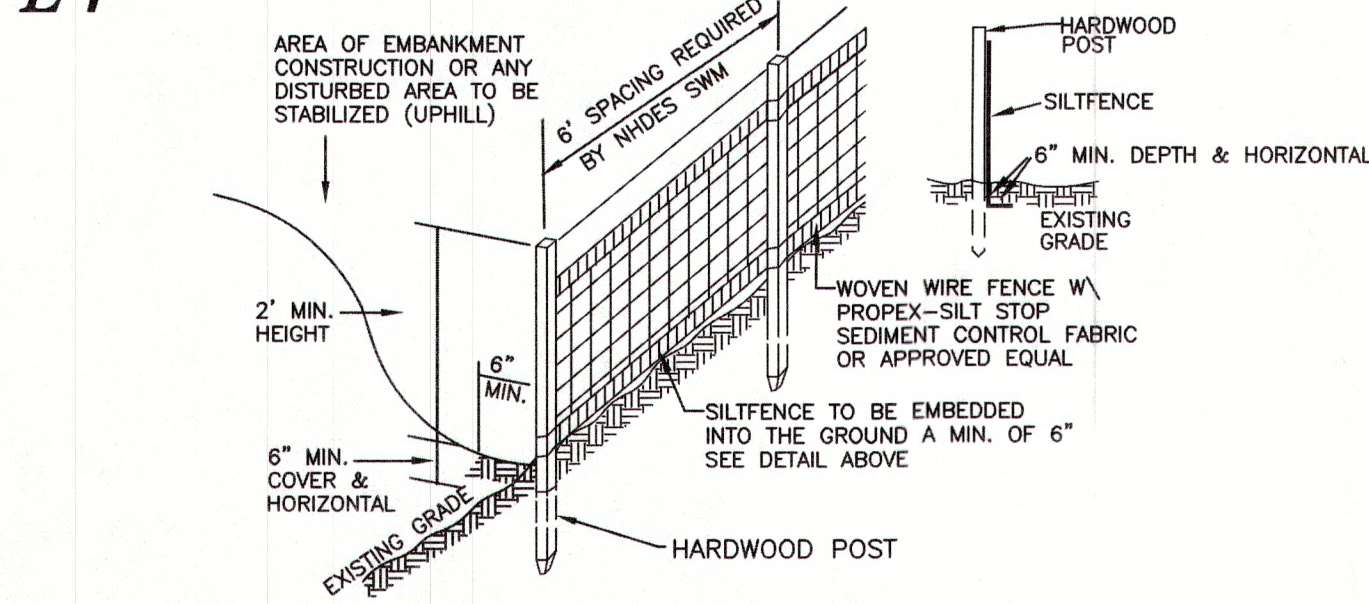
REVISION	DATE	DESCRIPTION
EXISTING CONDITIONS PLAN LAND OF MARIE C. MCKAY REVOCABLE TRUST 122 PAUGUS PARK ROAD LACONIA, N.H. TAX MAP 287, BLOCK 178, LOT 7		
BERRY SURVEYING & ENGINEERING 335 SECOND CROWN POINT RD. BARRINGTON, N.H. (603)332-2863		
SCALE : 1 IN. EQUALS 10 FT.		
DATE : SEPTEMBER 11, 2025		
FILE NO. : DB 2024 - 143		







E1



SILT FENCE CONSTRUCTION SPECIFICATIONS

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES AND FILTER CLOTH SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP MID AND BOTTOM SECTIONS AND BE EMBEDDED INTO GROUND A MINIMUM OF 8" THE FENCE POSTS SHALL BE A MINIMUM 48" LONG, SPACED A MAXIMUM 6' APART, AND DRIVEN A MINIMUM OF 16" INTO THE GROUND.
2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THE ENDS OF THE FABRIC SHALL BE OVERLAPPED BY SIX INCHES, FOLDED AND STAPLED TO PREVENT SEDIMENT FROM BY-PASSING.
3. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SEDIMENT REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE AND PROPERLY DISPOSED OF. SEE MAINTENANCE NOTE BELOW, REMOVAL OF SEDIMENT REQUIRED AT A DEPTH OF 6-INCHES.
4. PLACE THE ENDS OF THE SILT FENCE UP CONTOUR TO PROVIDE FOR SEDIMENT STORAGE.
5. SILT FENCES SHALL BE REMOVED WHEN NO LONGER NEEDED AND THE SEDIMENT COLLECTED SHALL BE DISPOSED AS DIRECTED BY THE ENGINEER.
6. THE AREA DISTURBED BY THE REMOVAL SHALL BE SMOOTHED AND RE-VEGETATED.
7. TO BE CONSTRUCTED IAW NH SWM #3 4-2 SEDIMENT CONTROL PRACTICES, SILT FENCE, PAGE 90.

SILT FENCE MAINTENANCE

1. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
2. IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
3. SEDIMENT DEPOSITS SHOULD BE REMOVED WHEN THEY REACH SIX-INCHES IN DEPTH.
4. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

SILT FENCE DETAIL  
NOT TO SCALE

E6

STABILIZED CONSTRUCTION ENTRANCE  
NOT TO SCALE

1. STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 3 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 75 FEET, EXCEPT THAT THE MINIMUM LENGTH MAY BE REDUCED TO 50 FEET IF A 3-INCH TO 6-INCH BERM IS INSTALLED AT THE ENTRANCE OF THE PROJECT SITE.
3. THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
4. THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
5. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE.
6. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
7. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.
8. TO BE CONSTRUCTED IAW NH SWM #3 4-2 SEDIMENT CONTROL PRACTICES, TEMPORARY CONSTRUCTION EXIT, PAGE 124.

E8

TEMPORARY EROSION CONTROL MEASURES

1. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME.
2. EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED, DIRECTED BY THE ENGINEER.
3. ALL DISTURBED AREAS SHALL BE RETURNED TO ORIGINAL GRADES AND ELEVATIONS. DISTURBED AREAS SHALL BE LOAMED WITH A MINIMUM OF 4" OF LOAM AND SEEDED WITH NOT LESS THAN ONE POUND OF SEED PER 50 SQUARE YARDS OF AREA. (SEE SEED SPECIFICATIONS THIS SHEET)
4. ALL DISTURBED AREAS WILL BE RESTABILIZED WITHIN 45 DAYS. AT ANY ONE TIME, NO MORE THAN THE AREAS SHOWN WILL BE OPEN AT ANY ONE TIME.
5. SILT FENCES AND PERIMETER BARRIERS SHALL BE INSPECTED PERIODICALLY AND AFTER EVERY RAIN DURING THE LIFE OF THE PROJECT. ALL DAMAGED AREAS SHALL BE REPAIRED, SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED OF.
6. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE REMOVED AND THE AREA DISTURBED BY THE REMOVAL SMOOTHED AND RE-VEGETATED.
7. PER THE EPA COP REQUIREMENTS THERE WILL BE REPORTS OF THE EROSION CONTROL INSPECTIONS IAW SWPPP PREPARED BY BS&E. ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER 0.25" OR GREATER RAIN EVENT.
8. DITCHES, SWALES, AND BASINS SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
9. DO NOT TRAFFIC EXPOSED SOIL SURFACES WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION SYSTEM.
10. ROADWAYS, DRIVEWAYS AND CUT AND FILL SLOPES MUST BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINAL GRADE.
11. STABILIZATION MEANS:
  - 11.1. A MINIMUM OF 85% OF VEGETATIVE COVER HAS BEEN ESTABLISHED.
  - 11.2. A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED, OR
  - 11.3. EROSION CONTROL BLANKETS HAVE BEEN INSTALLED.
12. THIS PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.
13. THE NHDES STORMWATER MANUAL, IN THREE VOLUMES, DATED DECEMBER 2008, IS A PART OF THIS PLAN SET AND THE MORE RESTRICTIVE WILL GOVERN. (NH SWM)

E2

WINTER STABILIZATION NOTES

- 1.) ALL DISTURBED AREAS THAT DO NOT HAVE AT LEAST 85% VEGETATIVE COVERAGE PRIOR TO OCTOBER 15TH SHALL BE STABILIZED BY APPLYING MULCH AT A RATE OF 3-4 TONS PER ACRE. ALL SIDE SLOPES, STEEPER THAN 4:1, THAT ARE NOT DIRECTED TO SWALES OR DETENTION BASINS, SHALL BE LINED WITH BIODEGRADABLE/PHOTODEGRADABLE "JUTE MATTING" (EXCELSIOR'S CURLEX II OR EQUAL). ALL OTHER SLOPES SHALL BE MULCHED AND TACKED AT A RATE OF 3-4 TONS PER ACRE. THE APPLICATION OF MULCH AND/OR JUTE MATTING SHALL NOT OCCUR OVER EXISTING SNOW COVER. IF THE SITE IS ACTIVE AFTER OCTOBER 15TH, ANY SNOW THAT ACCUMULATES ON DISTURBED AREAS SHALL BE REMOVED. PRIOR TO SPRING THAW ALL AREAS WILL BE STABILIZED, AS DIRECTED ABOVE.
- 2.) ALL SWALES THAT DO NOT HAVE FULLY ESTABLISHED VEGETATION SHALL BE EITHER LINED WITH TEMPORARY JUTE MATTING OR TEMPORARY STONE CHECK DAMS (APPROPRIATELY SPACED). STONE CHECK DAMS WILL BE MAINTAINED THROUGHOUT THE WINTER MONTHS. IF THE SWALES ARE TO BE MATTED WITH PERMANENT LINERS OR RIPRAP WITH ENGINEERING FABRIC, THIS SHALL BE COMPLETED PRIOR TO WINTER SHUTDOWN OR AS SOON AS THEY ARE PROPERLY GRADED AND SHAPED.
- 3.) PRIOR TO OCT. 15TH ALL ROADWAY AND PARKING AREAS SHALL BE BROUGHT UP TO AND THROUGH THE BANK RUN GRAVEL APPLICATION. IF THESE AREAS' ELEVATIONS ARE PROPOSED TO REMAIN BELOW THE PROPOSED SUBGRADE ELEVATION, THE SUBGRADE MATERIAL SHALL BE ROUGHLY CROWNED AND A 3" LAYER OF CRUSHED GRAVEL SHALL BE PLACED AND COMPACTED. THIS WILL ALLOW THE SUBGRADE TO SHED RUNOFF AND WILL REDUCE ROADWAY EROSION. THIS CRUSHED GRAVEL DOES NOT HAVE TO CONFORM TO NH DOT 304.3, BUT SHALL HAVE BETWEEN 15-25% PASSING THE #200 SIEVE AND THE LARGEST STONE SIZE SHALL BE 2". IF THE SITE IS ACTIVE AFTER OCTOBER 15TH, ANY ACCUMULATED SNOW SHALL BE REMOVED FROM ALL ROADWAY AND PARKING AREAS.
- 4.) AFTER OCTOBER 15TH, THE END OF NEW HAMPSHIRE'S AVERAGE GROWING SEASON, NO ADDITIONAL LOAM SHALL BE SPREAD ON SIDE SLOPES AND SWALES. THE STOCKPILES THAT WILL BE LEFT UNDISTURBED UNTIL SPRING SHALL BE SEED BY THIS DATE. AFTER OCTOBER 15TH, ANY NEW OR DISTURBED PILES SHALL BE MULCHED AT A RATE OF 3-4 TONS PER ACRE. ALL STOCKPILES THAT WILL REMAIN THROUGHOUT THE WINTER SHALL BE SURROUNDED WITH SILT FENCING.

DEFINITION OF STABLE

PER ENV-WQ 1500 ALTERATION OF TERRAIN

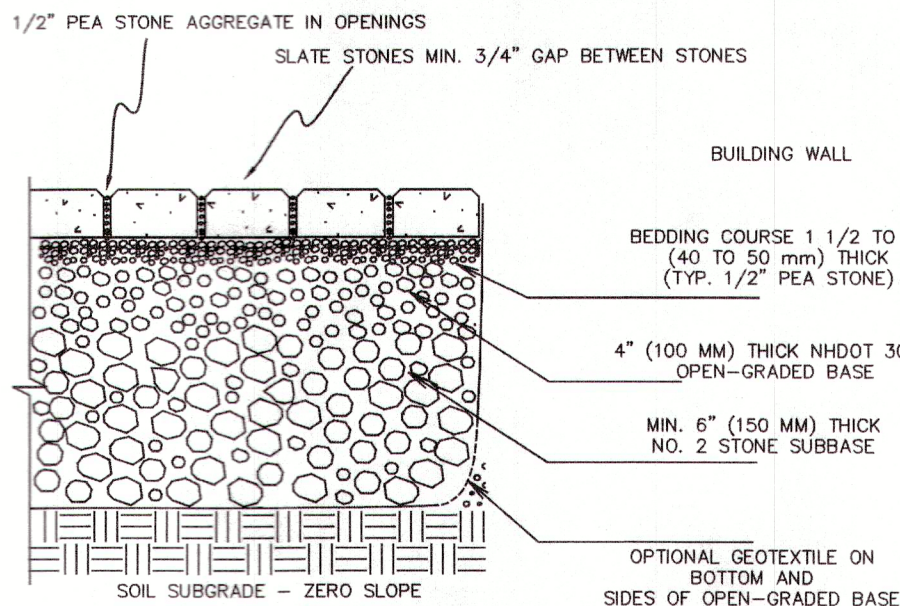
- 1.) BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
- 2.) A MINIMUM OF 85 PERCENT VEGETATED GROWTH HAS BEEN ESTABLISHED.
- 3.) A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED.
- 4.) OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

ADDITION STABILIZATION NOTES:

- 5.) HAY MULCH OR OTHER APPROVED METHODS SHALL BE USED TO CONTROL EROSION OF NEWLY GRADED AREAS. ALL CUT AND FILL SLOPES SHALL BE SEED AND MULCHED WITHIN 72 HOURS AFTER THEIR CONSTRUCTION.
- 6.) DISTURBED SOIL AREAS SHALL BE EITHER TEMPORARILY OR PERMANENTLY STABILIZED. IN AREAS WHERE FINAL GRADING HAS NOT OCCURRED, TEMPORARY STABILIZATION MEASURES SHOULD BE IN PLACE WITHIN SEVEN (5) CALENDAR DAYS FOR EXPOSED SOIL AREAS THAT ARE WITHIN ONE HUNDRED (100) FEET OF A SURFACE WATER BODY OR A WETLAND AND NO MORE THAN 14 CALENDAR DAYS FOR ALL OTHER AREAS. PERMANENT STABILIZATION SHOULD BE IN PLACE WITHIN THREE (3) CALENDAR DAYS FOLLOWING COMPLETION OF FINAL GRADING OF EXPOSED SOIL AREAS.

E3

PERVIOUS WALKWAY DETAIL

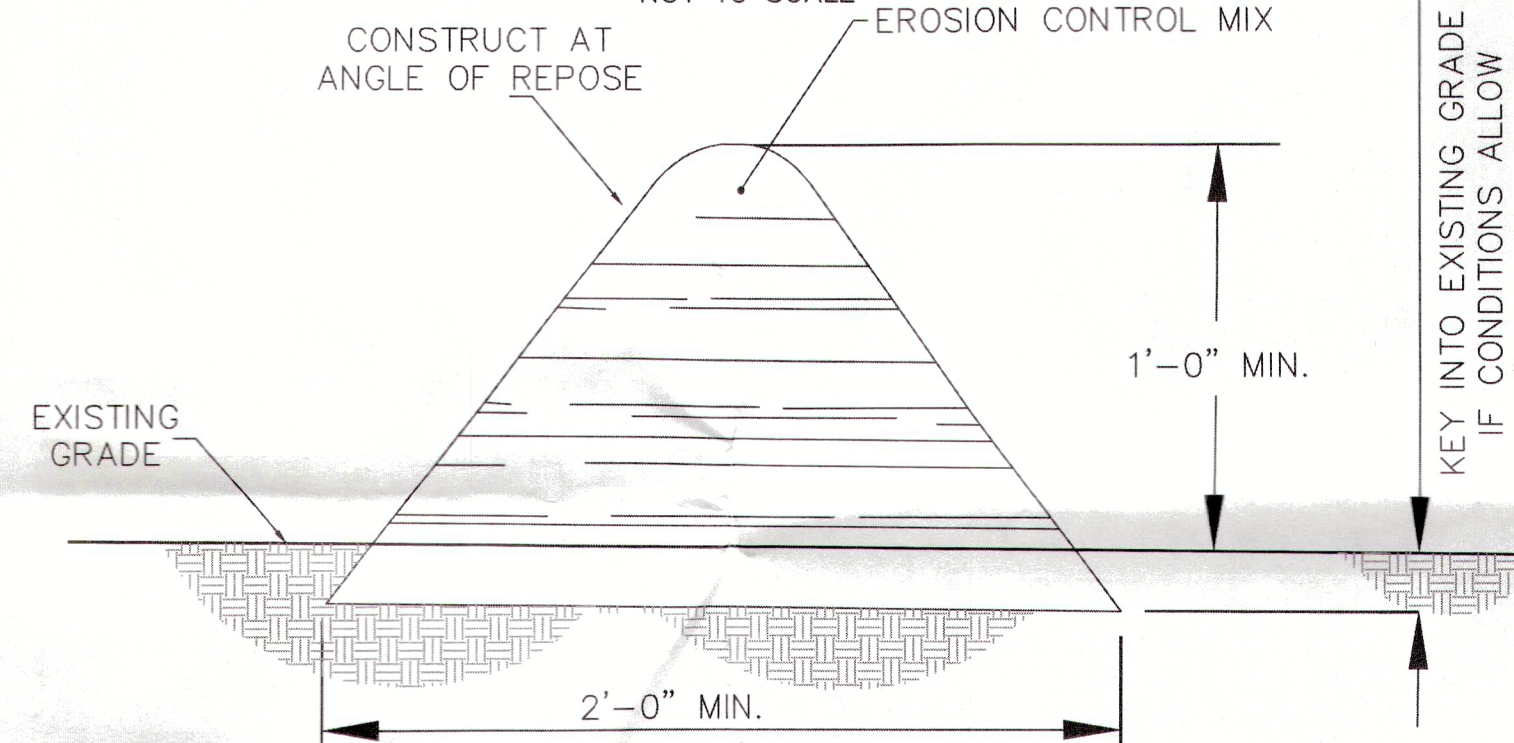


E4

E7

EROSION CONTROL MIX BERM

NOT TO SCALE



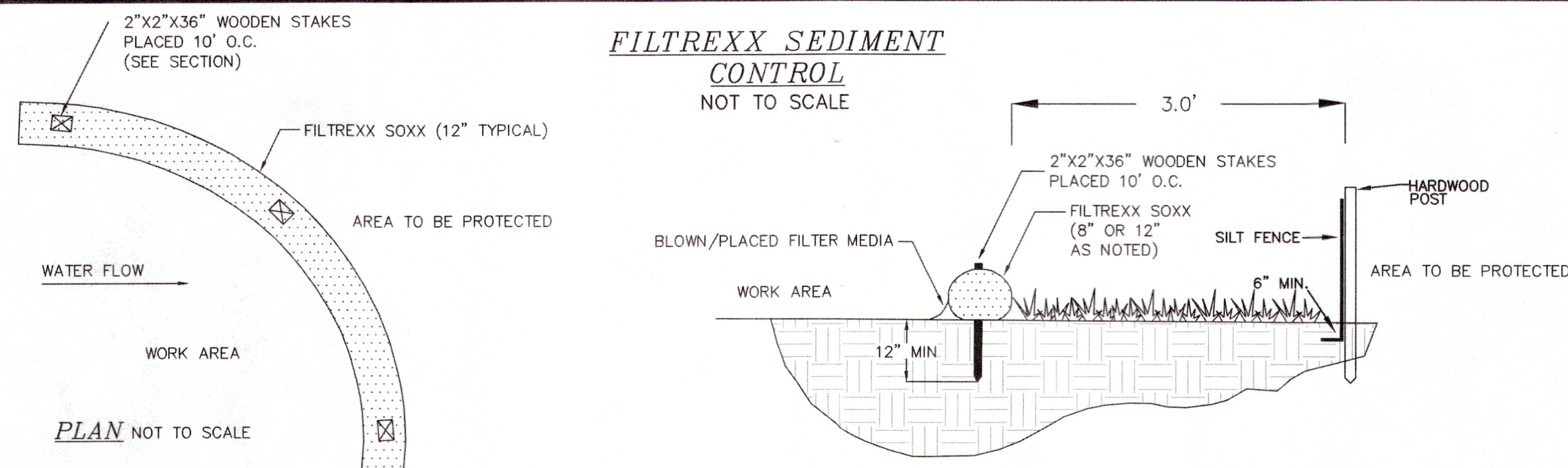
EROSION CONTROL MIX BERMS SHALL BE USED ONLY AS FOLLOWS:

1. BERMS SHALL BE USED IN AREAS WHERE EROSION WILL OCCUR ONLY IN THE FORM OF SHEET EROSION AND THERE IS NO CONCENTRATION OF WATER IN A CHANNEL OR DRAINAGE WAY ABOVE THE BERM.
2. THE BERMS SHALL BE INSTALLED FOLLOWING THE CONTOUR OF THE LAND AS CLOSELY AS POSSIBLE.
3. THE BERMS SHALL BE INSTALLED ON SLOPES LESS THAN 5%.
4. SUBJECT TO (E), BELOW, THE MIX SHALL HAVE AN ORGANIC PORTION BETWEEN 80 AND 100% DRY WEIGHT BASIS, AND BE FIBROUS AND ELONGATED SUCH AS FROM SHREDDED BARK, STUMP GRINDINGS, COMPOSTED BARK, OR EQUIVALENT MANUFACTURED PRODUCTS.
5. WOOD AND BARK CHIPS, GROUND CONSTRUCTION DEBRIS, OR REPROCESSED WOOD PRODUCTS SHALL NOT BE USED AS ORGANIC MATERIAL.
6. THE MIX SHALL NOT CONTAIN SILTS, CLAY, OR FINE SANDS.
7. THE MIX SHALL HAVE A PARTICLE SIZE BY WEIGHT OF 70 TO 85% PASSING A 6-INCH SCREEN AND A MAXIMUM OF 85% PASSING THE 0.75-INCH SCREEN.
8. THE MIX PH SHALL BE BETWEEN 5.0 AND 8.0.
9. THE BERM SHALL BE AT LEAST 12 INCHES HIGH AND AT LEAST 2 FEET WIDE.
10. TO BE CONSTRUCTED IAW NH SWM #3 4-2 SEDIMENT CONTROL PRACTICES, EROSION CONTROL MIX BERMS, PAGE 106.

E9

FILTREXX SEDIMENT CONTROL

NOT TO SCALE



NOTES

1. ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS.
2. FILTER MEDIA FILL TO MEET APPLICATION REQUIREMENTS.
3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.
4. SILTSOXX MAY BE USED IN PLACE OF SILT FENCE OR OTHER SEDIMENT BARRIERS.
5. SILTSOXX COMPOST/SOIL/ROCK/SEED FILL MATERIAL SHALL BE ADJUSTED AS NECESSARY TO MEET THE REQUIREMENTS OF THE SPECIFIC APPLICATION.
6. FILTREXX SOXX IS A REGISTERED TRADEMARK OF FILTREXX INTERNATIONAL, LLC.
7. SILT FENCE IS NOT A SUBSTITUTION FOR SILT SOXX AND ANY EQUAL SUBSTITUTION TO BE APPROVED.
8. TO BE CONSTRUCTED IAW FILTREXX, SECTION 1: EROSION & SEDIMENT CONTROL (PAGE 323) - CONSTRUCTION ACTIVITIES, SWPPP CUT SHEET: FILTREXX SEDIMENT CONTROL

Filtrex International, LLC  
SHEA 450 Eastern Rd | Grafton, OH 44044  
440-926-2607 | fax: 440-926-4021  
WWW.FILTREXX.COM  
OR APPROVED EQUAL

NOTE: FOR AREAS REQUIRING DOUBLE PERIMETER CONTROL WITHIN 50' OF JURISDICTIONAL WETLANDS AND NOT FOR ALL SILT SOXX APPLICATIONS. THIS DUPLICATION MAY BE SPECIFIED AS 12" SILT SOXX OR ORANGE CONSTRUCTION FENCE AS NOTED.

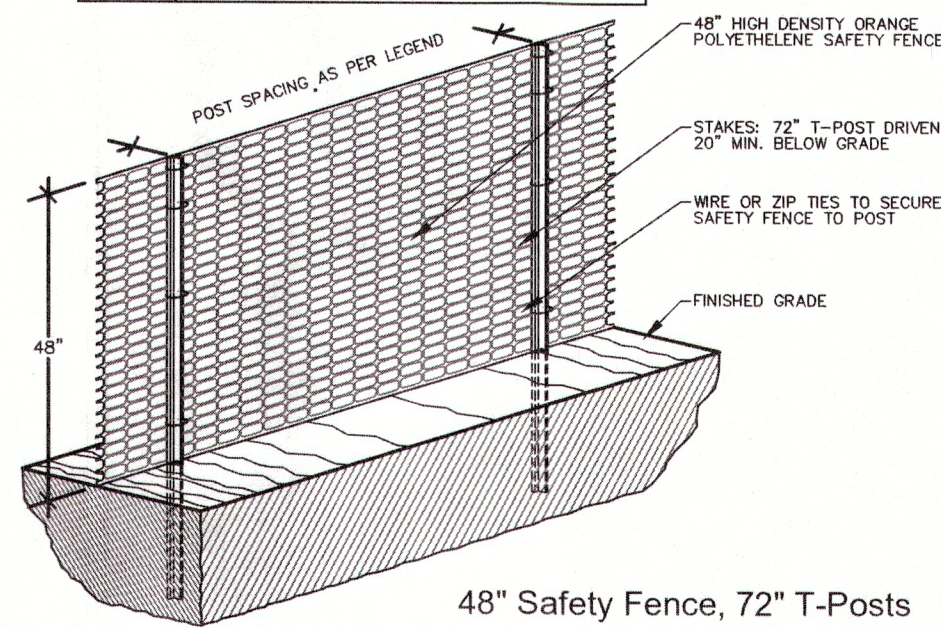
SECTION NOT TO SCALE

E5

CONSTRUCTION SAFETY FENCE

NOT TO SCALE

LEGEND	
SAF12	48" ORANGE FENCE, 12 FEET O.C.
SAF11	48" ORANGE FENCE, 11 FEET O.C.
SAF10	48" ORANGE FENCE, 10 FEET O.C.
SAF9	48" ORANGE FENCE, 9 FEET O.C.
SAF8	48" ORANGE FENCE, 8 FEET O.C.
SAF7	48" ORANGE FENCE, 7 FEET O.C.
SAF6	48" ORANGE FENCE, 6 FEET O.C.

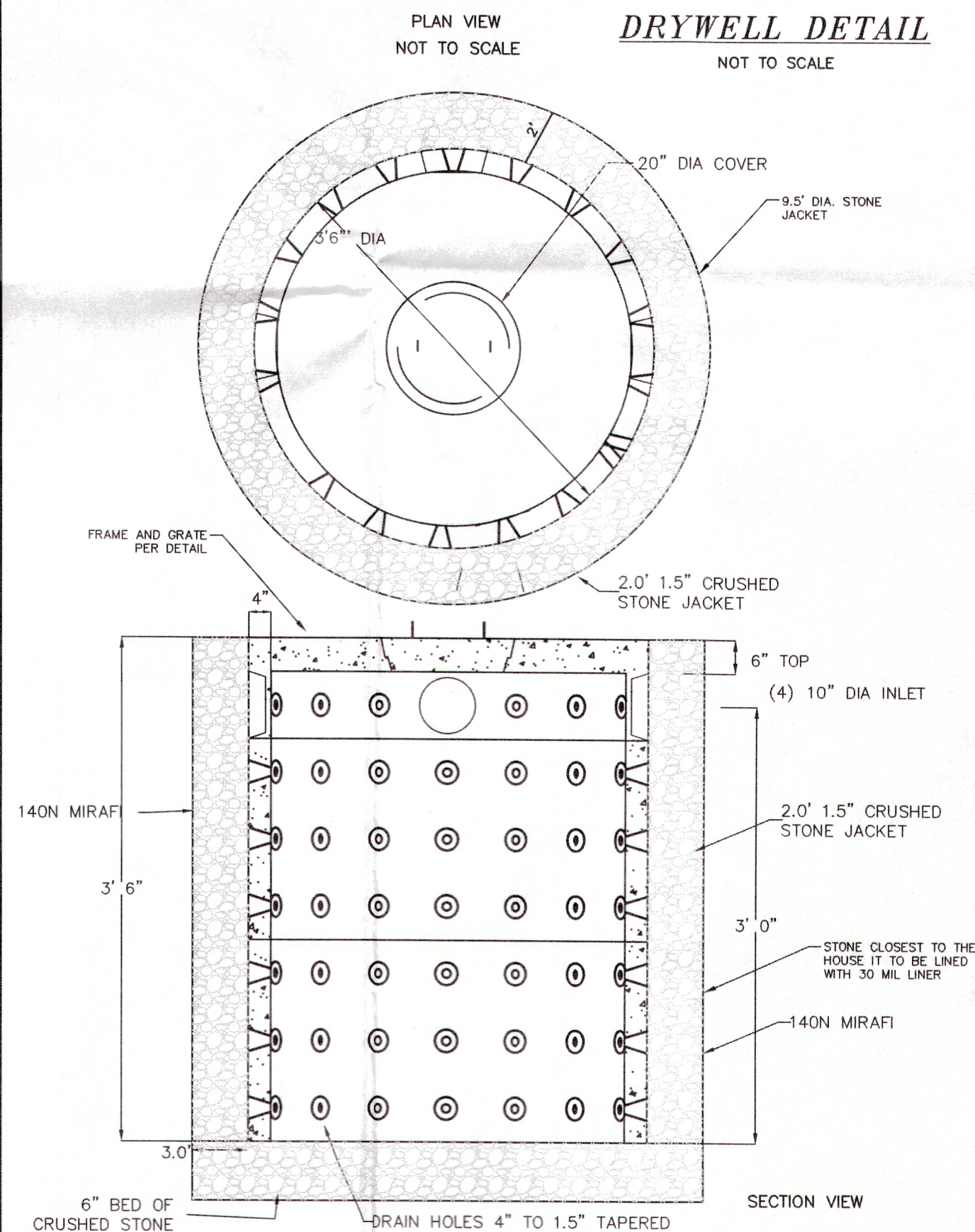


1. ALL SENSITIVE AREAS SHALL BE PROTECTED AS PER PLAN.
2. ALL TREES IN THE CONSTRUCTION AREA NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PRESERVED AND PROTECTED WITH HIGH VISIBILITY FENCE AS PER PLAN.
3. WHEN PRACTICABLE, INSTALL HIGH VISIBILITY 3 FEET OUTSIDE OF THE DRIP LINE OF THE TREE.
4. SAFETY FENCE SHOULD BE FASTENED SECURELY TO THE T-POSTS.
5. THE FENCING MUST REMAIN IN PLACE DURING ALL PHASES OF CONSTRUCTION; ANY CHANGE OF THE PROTECTIVE FENCING MUST BE APPROVED.

E10

DRYWELL DETAIL

NOT TO SCALE



NOTES:

1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
2. ALSO AVAILABLE IN AASHTO HS-20 LOADING.
3. CAPACITY INCREASES IN INCREMENTS OF 500 GALLONS FOR EACH 3' SECTION ADDED.
4. MUST BE SHEA CONCRETE PRODUCT OR EQUAL.

E-101

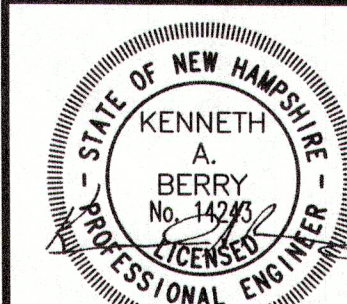
CONSTRUCTION DETAILS  
LAND OF  
MARIE C. MCKAY REVOCABLE TRUST  
122 PAUGUS PARK ROAD  
LACONIA, N.H.  
TAX MAP 287, BLOCK 178, LOT 7

BERRY  
& ENGINEERING  
335 SECOND CROWN POINT ROAD  
BARRINGTON, NH 03825 (603)332-2863

SCALE : 1 IN. EQUALS 10 FT.

DATE : SEPTEMBER 11, 2025

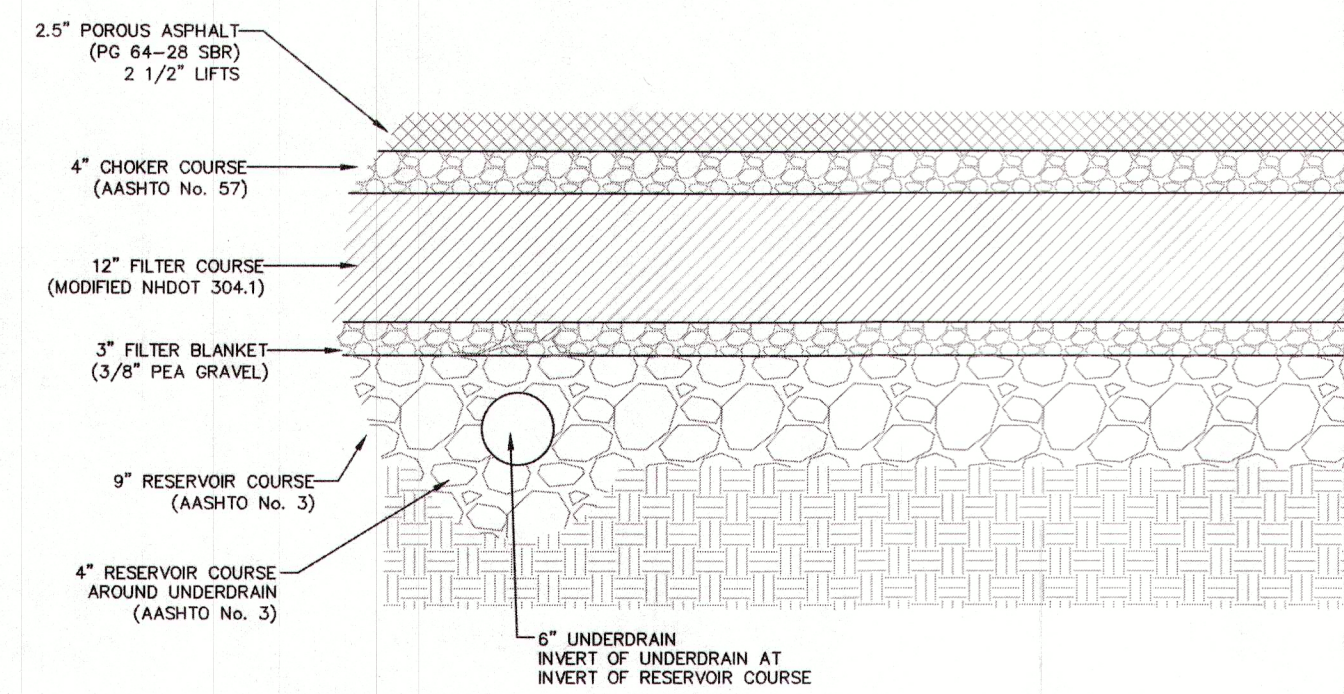
FILE NO. : DB 2024 - 143



SHEET 3 OF 5



C1



POROUS ASPHALT PAVEMENT SECTION  
NOT TO SCALE

DESIGN NOTES:

- 1.) POROUS ASPHALT PAVEMENT WILL CONFORM TO UNHSC (2007b) SPECIFICATIONS AS UPDATED BY UNHSC DESIGN SPECIFICATIONS FOR POROUS ASPHALT PAVEMENT AND INFILTRATION BEDS (DATED: SEPTEMBER 2016).
- 2.) THE FILTER COURSE WILL BE INSTALLED AT A MINIMUM DEPTH OF 18 INCHES AND CONSIST OF NHDOT (2016) SAND, ITEM 304.1 PER THE NH STORMWATER MANUAL.
- 3.) SEE CROSS SECTIONS FOR DETAILS.
- 4.) SEE STORMWATER SYSTEM MANAGEMENT: INSPECTION AND MAINTENANCE MANUAL AND PLAN, DATED JULY 1, 2024 FOR MAINTENANCE REQUIREMENTS.

REFERENCE:

- 1.) NH STORMWATER MANUAL: VOLUME 2, SECTION 4E PERMEABLE PAVEMENT.
- 2.) UNHSC DESIGN SPECIFICATIONS FOR POROUS ASPHALT PAVEMENT AND INFILTRATION BEDS, FEBRUARY 2014, REVISED SEPTEMBER 2016, UNIVERSITY OF NEW HAMPSHIRE STORMWATER CENTER, DURHAM, NH 03824-3534.
- 3.) POROUS ASPHALT PAVEMENT FOR STORMWATER MANAGEMENT, THE UNH STORMWATER CENTER.

POROUS PAVEMENT  
TOTAL SECTION DEPTH = 30.5"  
FROST DEPTH = 48" (UNHSC)  
12" FILTER MEDIA PROVIDED

SEE GRADING PLANS &  
PROFILES FOR SPOT ELEVATIONS

CHOKER COURSE *	
SIEVE SIZE	% PASSING BY WEIGHT
1 1/2"	100
1"	95 - 100
1/2"	25 - 60
# 4	0 - 10
# 8	0 - 5

\* EQUIVALENT TO STANDARD STONE  
SIZE #57 - AASHTO

FILTER BLANKET COURSE *	
SIEVE SIZE	% PASSING BY WEIGHT
1/2"	100
3/8"	95 - 100
# 4	22 - 55
# 8	0 - 10

\* EQUIVALENT TO STANDARD WASHED  
STONE - SECTION 702 OF NHDOT  
STANDARD SPECIFICATIONS

FILTER COURSE *	
SIEVE SIZE	% PASSING BY WEIGHT
6"	100
# 4	70 - 100
# 200	0 - 6**

\* EQUIVALENT TO MODIFIED NHDOT  
304.1 - SECTION 304 OF NHDOT  
STANDARD SPECIFICATIONS

\*\* LESS THAN 4% FINES

RESERVOIR COURSE *	
SIEVE SIZE	% PASSING BY WEIGHT
2 1/2"	100
2"	90 - 100
1 1/2"	35 - 70
1"	0 - 15
1/2"	0 - 5

\* EQUIVALENT TO STANDARD STONE  
SIZE #3 - AASHTO

POROUS ASPHALT MIX DESIGN CRITERIA	
SIEVE SIZE	% PASSING BY WEIGHT
3/4"	100
1/2"	85 - 100
3/8"	55 - 75
# 4	10 - 25
# 8	5 - 12
# 200	2 - 4

BINDER CONTENT  
(AASHTO T164)

AIR VOID CONTENT 16 - 22%  
(AASHTO D6752)

DRAINDOWN  
(AASHTO D6390) ≤ 0.3%

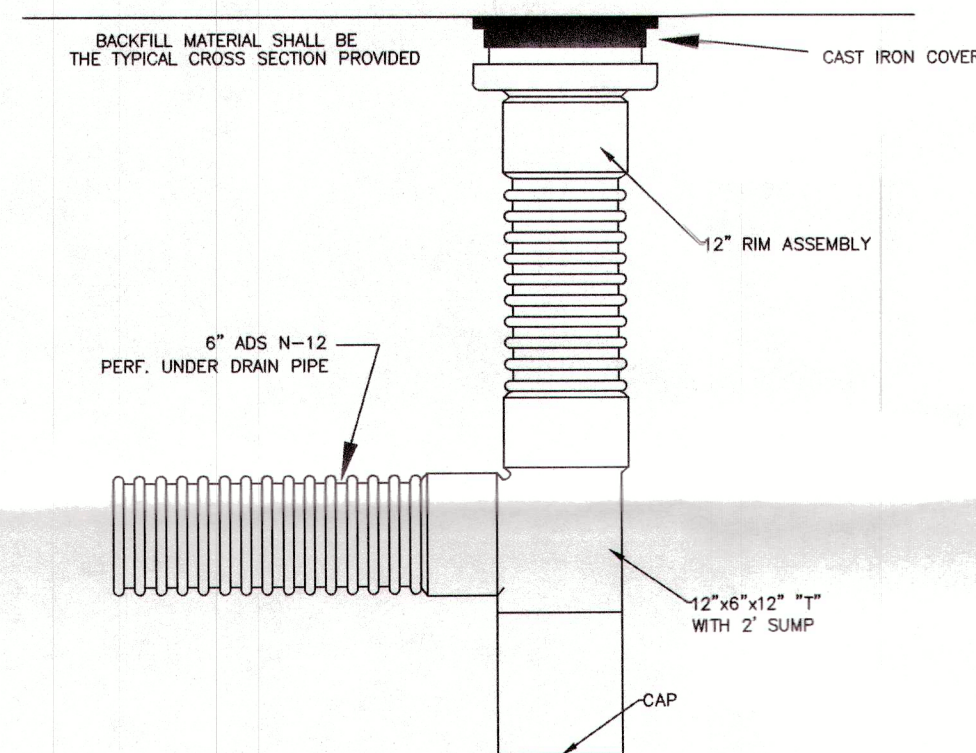
RETAINED TENSILE  
STRENGTH  
(AASHTO D6390) ≥ 80%

CANTABRO ABRASION ≤ 20%  
TEST (UNAGED)

CANTABRO ABRASION ≤ 30%  
TEST (7 DAYS)

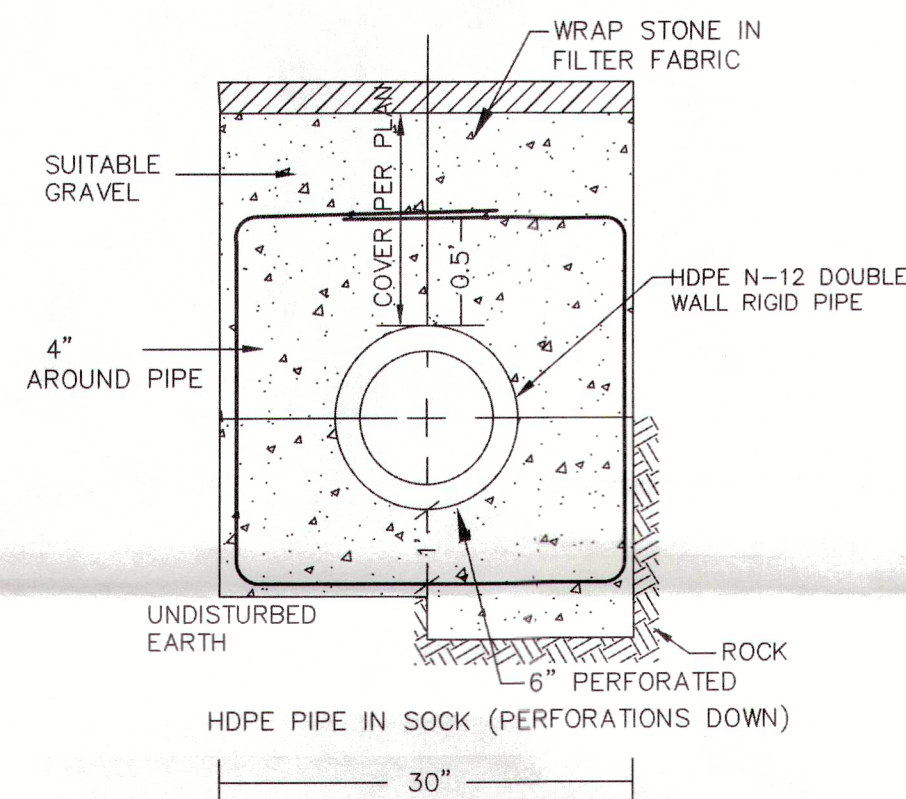
POROUS ASPHALT PAVEMENT  
NOT TO SCALE

C2



ADS N-12, INLINE DRAIN/CLEANOUT  
NOT TO SCALE USED FOR DOWNSPOUT CLEANOUTS

C3

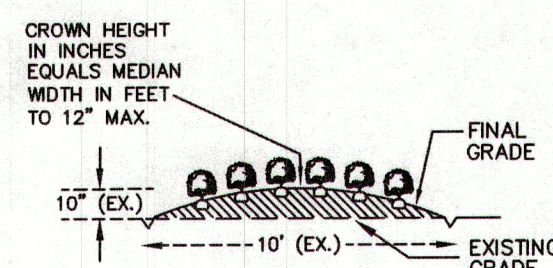


UNDERDRAIN TRENCH DETAIL  
NOT TO SCALE

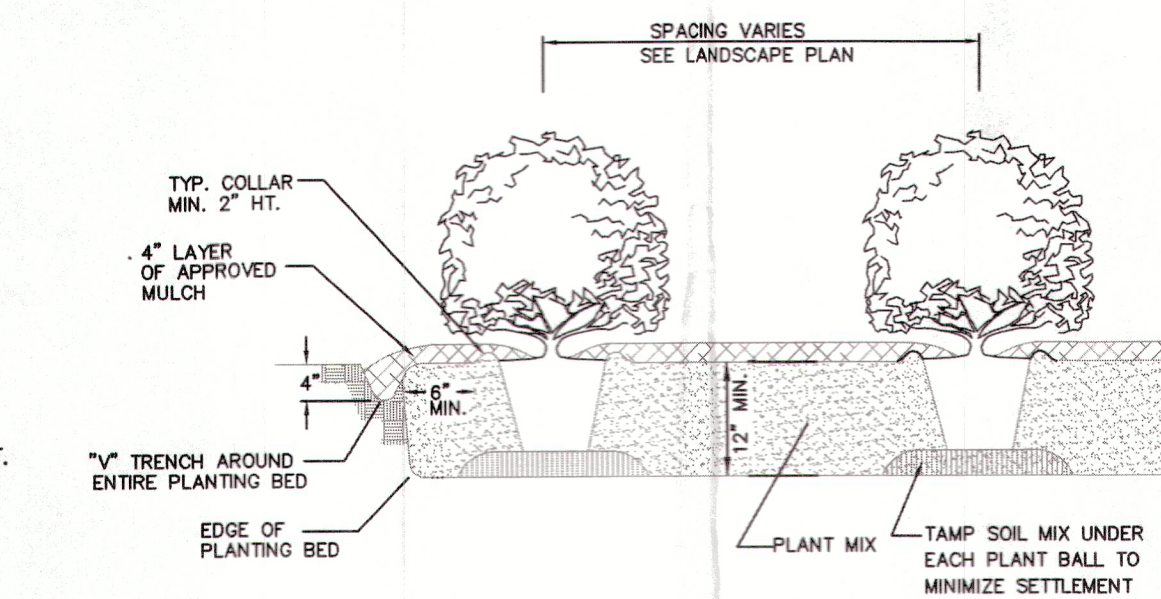
C4

NOTES:

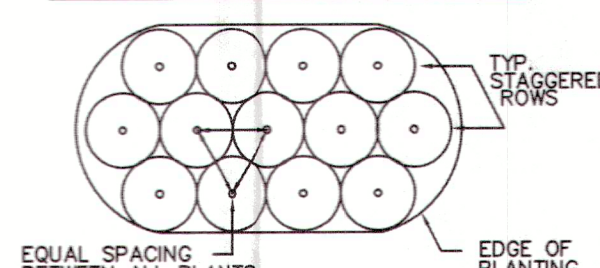
1. SCARIFY ROOT MASS OF CONTAINERIZED PLANT MATERIAL.
2. INSTALL CONTAINERIZED PLANTS AT FINISHED GRADE.
3. TAMP PLANTING MIX FIRMLY AS PIT IS FILLED AROUND EACH PLANT BALL.
4. OMIT COLLAR AROUND EACH SHRUB WHEN IRRIGATION SYSTEM IS PRESENT.
5. SOAK EACH PLANT BALL AND PIT IMMEDIATELY AFTER INSTALLATION.



TYPICAL BED CROWNING



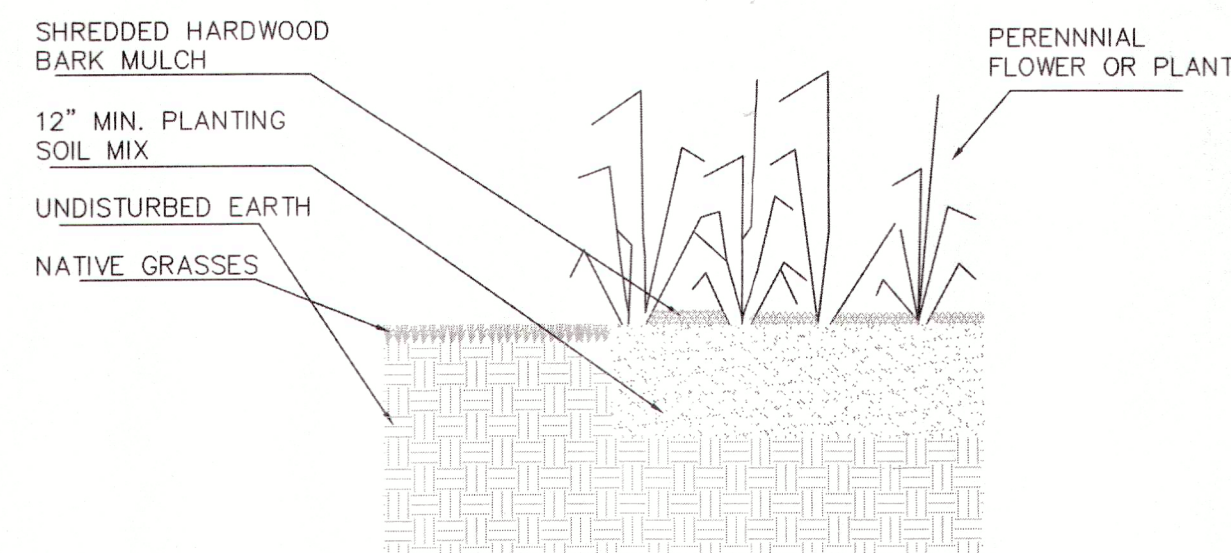
TYPICAL PLANTING BED DETAIL



TYPICAL PLANTING BED PLAN

SHRUB & HEDGE PLANTING

C5



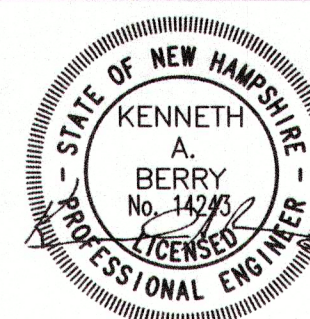
PERENNIAL PLANTING DETAIL

C-101

DESCRIPTION	
REVISION	DATE

CONSTRUCTION DETAILS LAND OF MARIE C. MCKAY REVOCABLE TRUST 122 PAUGUS PARK ROAD LACONIA, N.H. TAX MAP 287, BLOCK 178, LOT 7
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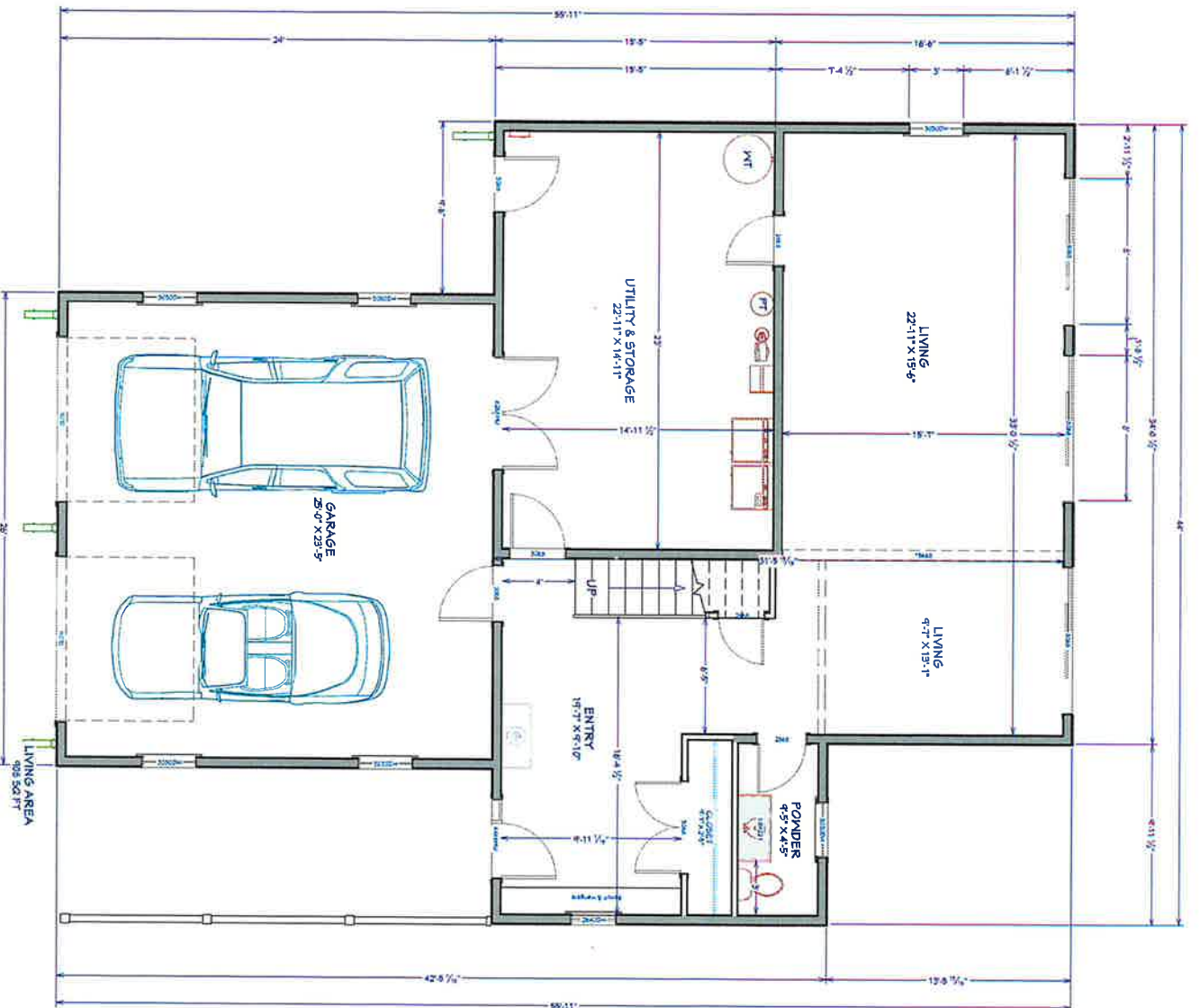
BERRY SURVEYING & ENGINEERING 335 SECOND CROWN POINT ROAD BARRINGTON, NH 03825 (603)332-2863 SCALE : 1 IN. EQUALS 10 FT. DATE : SEPTEMBER 11, 2025 FILE NO. : DB 2024 - 143
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**Marie McKay**  
**122 Paugus Park Road**  
**Laconia, N.H.**

Title: McKay Addition & Remodel  
Revised: 6-26-2025  
By: OLC, JRL  
Revised: 5/2/1/25

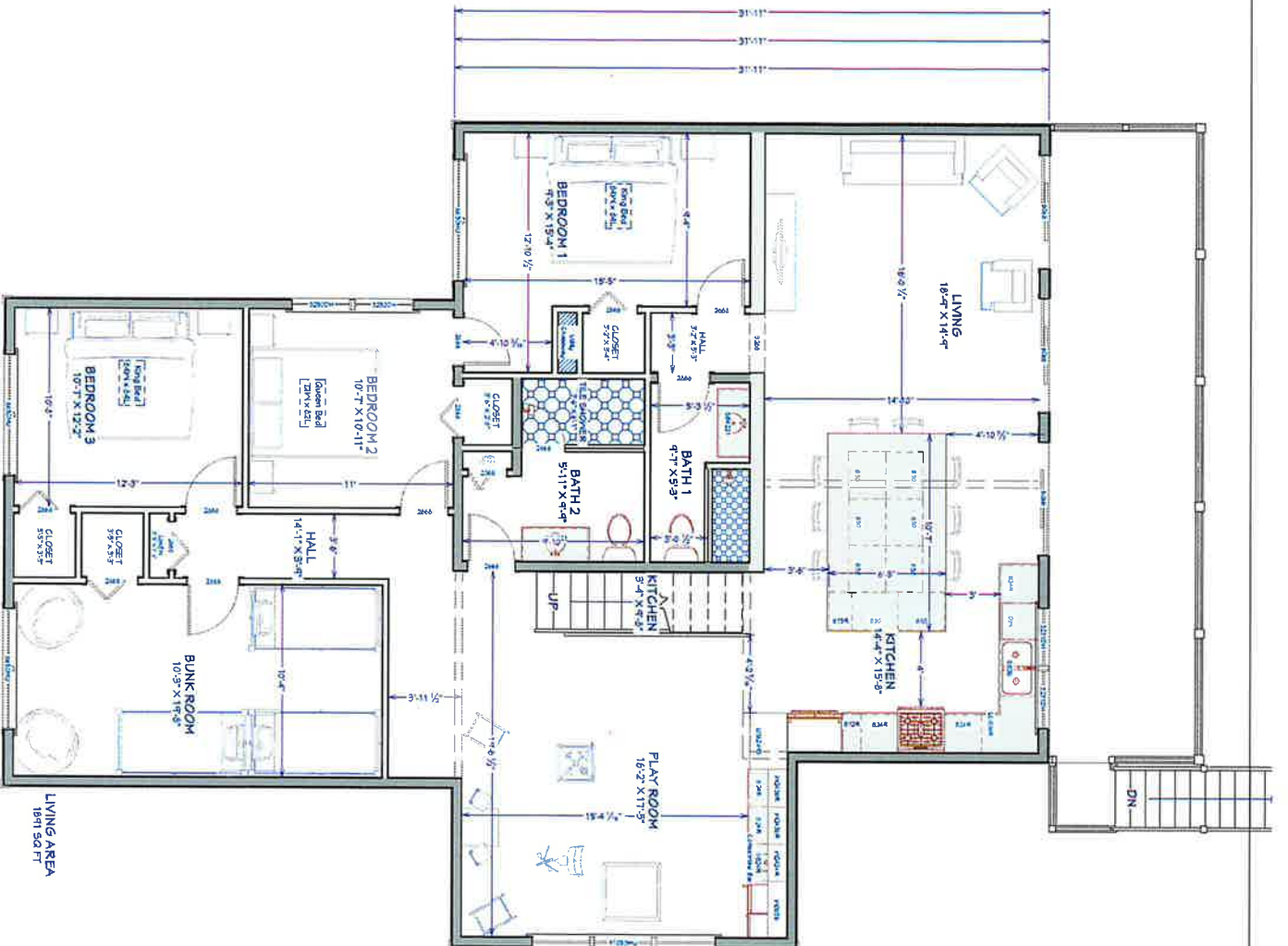


**Ground Floor**



Marie McKay  
122 Paugus Park Road  
Laconia, N.H.

Title: McKay Addition & Remodel  
Revised: 6-26-2025  
By: OLC, JRL  
Revised: 5/21/25

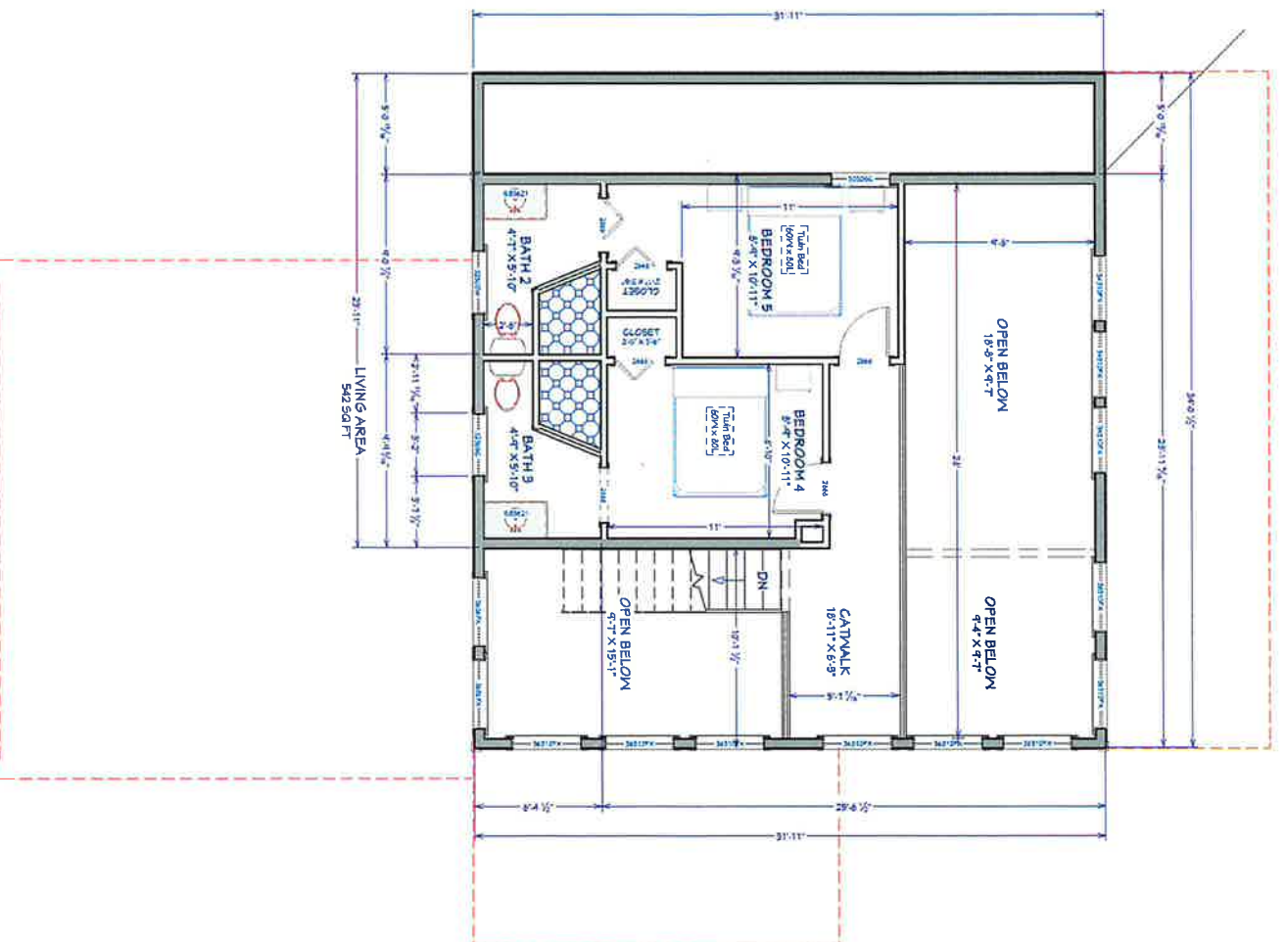


1st Floor



**Marie McKay**  
**122 Paugus Park Road**  
**Laconia, N.H.**

Title: McKay Addition & Remodel  
Revised: 6-26-2025  
By: OLC, JRL  
Revised: 5/21/25



**2nd Floor**



#1



#3



#2



#4



PROJECT PHOTOS  
MARIE C. MCKAY  
122 PAUGUS PARK ROAD  
LACONIA, N.H.  
TAX MAP 287, LOT 178, SUB 7

## BERRY SURVEYING & ENGINEERING

335 SECOND CROWN POINT RD.  
BARRINGTON, N.H. 332-2863

SCALE : NONE

DATE : SEPTEMBER 16, 2025

FILE NO. : DB 2024-143



#5



#7



#6



#8



PROJECT PHOTOS  
MARIE C. MCKAY  
122 PAUGUS PARK ROAD  
LACONIA, N.H.  
TAX MAP 287, LOT 178, SUB 7

## BERRY SURVEYING & ENGINEERING

335 SECOND CROWN POINT RD.  
BARRINGTON, N.H. 332-2863

SCALE : NONE

DATE : SEPTEMBER 16, 2025

FILE NO. : DB 2024-143



#9



#11



#10



PROJECT PHOTOS  
MARIE C. MCKAY  
122 PAUGUS PARK ROAD  
LACONIA, N.H.  
TAX MAP 287, LOT 178, SUB 7

**BERRY SURVEYING & ENGINEERING**

335 SECOND CROWN POINT RD.  
BARRINGTON, N.H. 332-2863

SCALE : NONE

DATE : SEPTEMBER 16, 2025

FILE NO. : DB 2024-143







PAUGUS BAY

PAUGUS BAY

RS

APR 27/2004



















Application #:  
Fees Paid:  
Check #:  
Receipt #:

ZB2026-029  
\$198.00  
544

**ZONING BOARD OF ADJUSTMENT  
VARIANCE APPLICATION**

Name of Applicant: Brian & Debra Beaulieu  
Mailing Address: 278 Dockham Shore Rd., Gilford, NH 03249  
Owner (If same as applicant, write "same"): Same  
Mailing Address: Same  
Tax Map/ Lot # (s): Map 167, Lot 269-1 Zoning District (s): SFR & Shoreland Protection Overlay District  
Street Address: 17 Wentworth Cove Road

**OWNER AUTHORIZATIONS & STATEMENTS OF ASSURANCE:**

I hereby make application to the City of Laconia for the above-referenced property (ies) and the development as described. To the best of my knowledge the information provided herein is accurate and is in accordance with the Zoning Ordinance and land use regulations of the City, except where waivers are requested. The City of Laconia Zoning Board and/or city employees are authorized to enter the property (ies) for purposes of reviewing this proposal and for inspecting improvements as a result of an approval of this proposal. I understand that I am responsible for appearing, or having someone appear on my behalf, at any and all meetings before the Zoning Board.

Sign as appropriate (If agent or non-person please attach certification)

NOTE: Please attach an Applicant Contact Worksheet

**PROPERTY OWNER(S)**

Brian & Debra Beaulieu

Printed Name Here

Brian Beaulieu Debra Beaulieu

Signature of Property Owner(s)

12/16/25  
Date

**AGENT(S)**

Justin Daigneault - Granite Engineering, LLC

Printed Name Here

Justin Daigneault

Signature of Agent(s)

12/16/2025  
Date

NOTE: This application is not acceptable unless all required statements have been made. Additional information may be supplied on a separate sheet if the space provided is inadequate.

**REQUIRED ATTACHMENTS:**

- Abutters List (from <https://www.axisgis.com/LaconiaNH/>)
- Envelopes and Certified Mail Receipts (Filled out for all abutters)
- Plot Plan (Showing dimensions of proposed building, setback requirements, and encroachments into any setbacks.)



A variance is requested from article 235-19 section F(2)(b) of the Zoning Ordinance to permit \_\_\_\_\_  
Encroachment of 81 square feet of a raised deck into the 50' setback from Lake Winnepesaukee

Facts in support of granting the Variance:

1. Granting the variance would not be contrary to the public interest because:

See attached narrative.

2. If the variance were granted, the spirit of the ordinance would be observed because:

See attached narrative.

3. Granting the variance would do substantial justice because:

See attached narrative.

4. If the variance were granted, the values of the surrounding properties would not be diminished because:

See attached narrative.

5. Unnecessary Hardship

a. Owing to special conditions of the property that distinguish it from other properties in the area, denial of the variance would result in unnecessary hardship because:

i. No fair and substantial relationship exists between the general public purposes of the ordinance provision and the specific application of that provision to the property because:

See attached narrative.

ii. The proposed use is a reasonable one because:

See attached narrative.

-or-

b. If the criteria in subparagraph (a) are not established, an unnecessary hardship will be deemed to exist if, and only if, owing to special conditions of the property that distinguish it from other properties in the area, the property cannot be reasonably used in strict conformance with the ordinance, and a variance is therefore necessary to enable a reasonable use of it.



**Facts in support of granting the Variance:**

1. Granting the variance would not be contrary to the public interest because:

The proposal significantly reduces existing nonconformity within the 50-foot Lake Winnepesaukee waterfront setback. The existing development includes approximately 2,495 square feet of house and deck area within the setback. The proposed redevelopment relocates the residence entirely outside the setback, with only approximately 81 square feet of deck encroaching into the setback that was not previously encroached. This results in a substantial reduction of structural encroachment, improved shoreline conditions, and increased consistency with shoreland protection goals, thereby serving the public interest.

2. If the variance were granted, the spirit of the ordinance would be observed because:

The intent of Article 235-19, Section F(2)b is to protect Lake Winnepesaukee by limiting structural development close to the shoreline. The proposed project advances this intent by eliminating existing structures within the setback and replacing them with a conforming residence that substantially increases the setback distance of the primary structure from the lake. The limited deck encroachment represents a minimal and reduced impact compared to existing conditions and maintains the ordinance's protective purpose.

3. Granting the variance would do substantial justice because:

Granting the variance allows the applicant to modernize and improve the property while significantly reducing existing encroachments into the shoreline setback. Denial would perpetuate or incentivize continued use of outdated, nonconforming structures rather than encouraging redevelopment that improves compliance. The benefit to the applicant is proportionate and reasonable, while the public benefits from improved setback compliance and shoreline protection.

4. If the variance were granted, the values of the surrounding properties would not be diminished because:

The proposed redevelopment replaces multiple older structures with a single, code-compliant residence that is set farther back from the shoreline than existing conditions. This reduction in visual clutter and improvement in site layout is consistent with surrounding residential development patterns and is expected to enhance, rather than diminish, neighborhood character and property values.



**5. Unnecessary Hardship:**

- a. Owing to special conditions of the property that distinguish it from other properties in the area, denial of the variance would result in unnecessary hardship because:

The lot is constrained by its shoreline location, existing nonconforming development, and established building footprint patterns predating current zoning regulations. These conditions limit the ability to redevelop the property in full conformity without some encroachment. Strict application of the setback requirement would prevent reasonable redevelopment that substantially reduces nonconformity and improves compliance with current standards.

- i. No fair and substantial relationship exists between the general public purposes of the ordinance provision and the specific application of that provision to the property because:

Applying the 50-foot setback strictly to prohibit a minor deck encroachment, while allowing significantly larger existing encroachments to remain, does not further the ordinance's underlying public purpose. The proposed redevelopment materially advances shoreline protection goals by reducing encroachment area by over 90 percent, and denying the variance would not result in additional meaningful public benefit.





# ZONING & PLANNING BOARD APPLICATION FEES

Adopted by City Council 2/10/2020

[www.cityoflaconianh.org](http://www.cityoflaconianh.org)

www.cityoflaconiah.org

Application Type †	Basic Fee*	Additional Fees*	
Administrative Review	\$125.00	None apply	
Administrative Review Short Term Lodging Permit	\$250	Permit must be renewed every 2 years, fee authorized at that time.	
Minor Site Plan Committee (MSPC), Minor Site Plan or Change of Use between 5,000 and 10,000 SF#	\$100.00	None apply	
Planning Board Basic Site Plan, Site Plan Amendment or Change of Use over 10,000 SF#	\$200.00	Construction of new commercial structures, and additions	+ \$50 per each 1,000 SF# of new structure footprint
		Construction of new industrial structures and additions	+ \$30 per each 1,000 SF# of new structure footprint
		Construction of new residential units	+ \$50 per unit
		Principal Outdoor Uses	+ \$100 per acre (or portion over .5 acre) of developed area
		Parking or paving	+ \$20 per 1,000 SF#
Basic Subdivision (of Lots or Sites)	\$200.00	For 1-3 lots/sites (includes the original lot)	\$50 per lot/site
		For over 3 lots/sites (including original lot)	\$75 per lot/site
		Lot Line Adjustments	\$50 for each adjustment between every two lots
		Boundary Line Agreements	\$50 for each adjustment between every two lots
Basic Site Plan for establishment or expansion of parking lots over 25 spaces	\$500.00	None apply	
Design Review	\$100.00	None apply	
Conceptual Review	No Fee	None apply	
As-built Site Plan	\$100.00	None apply	
Miscellaneous Items/Fees			
Request for a continued hearing	\$25.00 for the first request, \$50. for each request after		
Request for extension of approval	\$25.00 for the first request, \$50. for each request after		
Request for Street Acceptance	\$100.00 Flat fee		
Conditional Use Permits	\$100.00 Per requirement		
Zoning Petitions	\$100.00		
Zoning Applications, Zoning Re-Hearings	\$125.00 ✓		
Lot Merger Applications	\$25.00		
Sign Permits	\$30.00 per sign		
Banner Sign Permits	\$50.00 per banner per week		
After-the-fact Applications	\$500 or double the regular application fee, whichever is greater, plus the normal application fee		
Abutter Notification	7x10 = \$70	\$10 per abutter, includes postal fees. Applicants wishing to pay the postal fees will be credited that amount. Applicant must prepare the mailing envelopes including affixing certified slip (return receipt not required).	
Recording Fees	Make payable to Belknap Country Registry of Deeds – amounts will vary depending on what is being recorded		

\*Application fees do not include recording fees.

†Submission of an application fee must accompany a complete application in order for that application to be placed on an agenda for review and/or public hearing.

p:\old\templates\planning board templates\planning board fees\fees.doc

**\$70 + \$125 = \$195.00**



Brian & Debra Beaulieu  
278 Dockham Shore Rd.  
Gilford, NH 03249

166-269-44

DUDLEY BETTE A TRUST/TRUS  
32 WENTWORTH COVE RD  
LACONIA, NH 03246

166-269-28

HOMSI RICHARD  
84 SUMMIT AVE  
LACONIA, NH 03246

167-270-2

LEPINE PHILIP J TRUST/TRU  
60 SUMMIT AV  
LACONIA, NH 03246

166-270-27.2

RAHILLY DEBRA A  
18 VERA RD  
MIDDLETON, MA 01949

166-269-43

### Consultants

Granite Engineering, LLC  
150 Dow Street, Tower 2, Suite 421  
Manchester, New Hampshire 03101

Marquis Contracting Group  
717 Daniel Webster Highway  
Merrimack, NH 03054



## OWNER AFFIDAVIT

I, Debra Beaulieu, hereby authorize Granite Engineering, LLC to submit local, state, and federal land use applications on my behalf, as they relate to the redevelopment of the property situated at 17 Wentworth Cove Road, Laconia NH and referenced on Tax Assessor's Map 167 Lot 269-1. Further, I authorize Granite Engineering, LLC to aid in the representation of said permits, as required, before the City of Laconia and the State of New Hampshire.

A handwritten signature in cursive script, reading "Debra Beaulieu", written in black ink. The signature is positioned above a horizontal line.

Debra Beaulieu  
17 Wentworth Cove Road  
Laconia, NH 03246





## GRANITE ENGINEERING, LLC

civil engineering • land planning • municipal services

December 19, 2025

City of Laconia Zoning Department  
Scott Pelchat  
Zoning Tech  
45 Beacon Street E  
Laconia, New Hampshire 03246

RE: 17 Wentworth Cove – ZBA Variance Application  
Tax Map 269 Lot 1  
17 Wentworth Cove Road  
Laconia, NH  
GE#2410221

Dear Mr. Pelchat,

Enclosed, please find an executed application and associated supporting material for the above referenced project, for an anticipated Zoning Board hearing on January 20, 2026.

Brian & Debra Beaulieu (Applicant) proposes to raze an existing single-family residence and construct a new single-family residence located at 17 Wentworth Cove Road in Laconia, NH (Tax Map 269 Lot 1). The property is located within the SFR & Shoreland Protection Overlay District.

The property includes an Application to the ZBA for a variance request for encroachment into the 50' waterfront setback. The existing development includes approximately 2,495 square feet of house and deck area within the setback. The proposed redevelopment relocates the residence entirely outside the setback, with only approximately 81 square feet of deck encroaching into the setback that was not previously encroached.

We are pleased to submit the following items for consideration in relation to this project:

1. One (1) copy of an Executed Zoning Board Variance Application with supporting narrative;
2. One (1) copy of the Zoning Application Fees
3. One (1) copy of certified list of abutters
4. One (1) copy of a Signed Owners and Applicant Affidavit;
5. One (1) set of envelopes with postage for use in abutter notification;
6. One (1) full size copies of the plans;
7. Checks to cover the various application fees calculated as follows:

Variance Request	= \$125.00
Abutter Notification	
5 Abutter x \$10	= \$50
2 Owner/Applicant/Consultants x \$10	= \$20
<u>Check # 544</u>	<u>\$195.00</u>



If you need any further information or if you have any questions, don't hesitate to contact this office.

Best Regards,

A handwritten signature in black ink, appearing to read "Justin Daigneault", with a long horizontal stroke extending to the right.

Justin Daigneault  
*Project Manager*



NO.	DATE	REVISIONS
0	8/29/2025	PROJECT SUBMITTAL
1	9/29/2025	INVESTIGATE SHORELAND COMMENTS

OWNER: BRIAN & DEBRA BEAULIEU  
17 WENTWORTH COVE ROAD  
LACONIA, NH 03246

APPLICANT: BRIAN & DEBRA BEAULIEU  
17 WENTWORTH COVE ROAD  
LACONIA, NH 03246

**GRANITE ENGINEERING**  
civil engineering • land planning • municipal services

150 Dow Street, Tower 2, Suite 421  
Manchester, New Hampshire 03101  
603.518.8030

www.GraniteEng.com

STAMP:

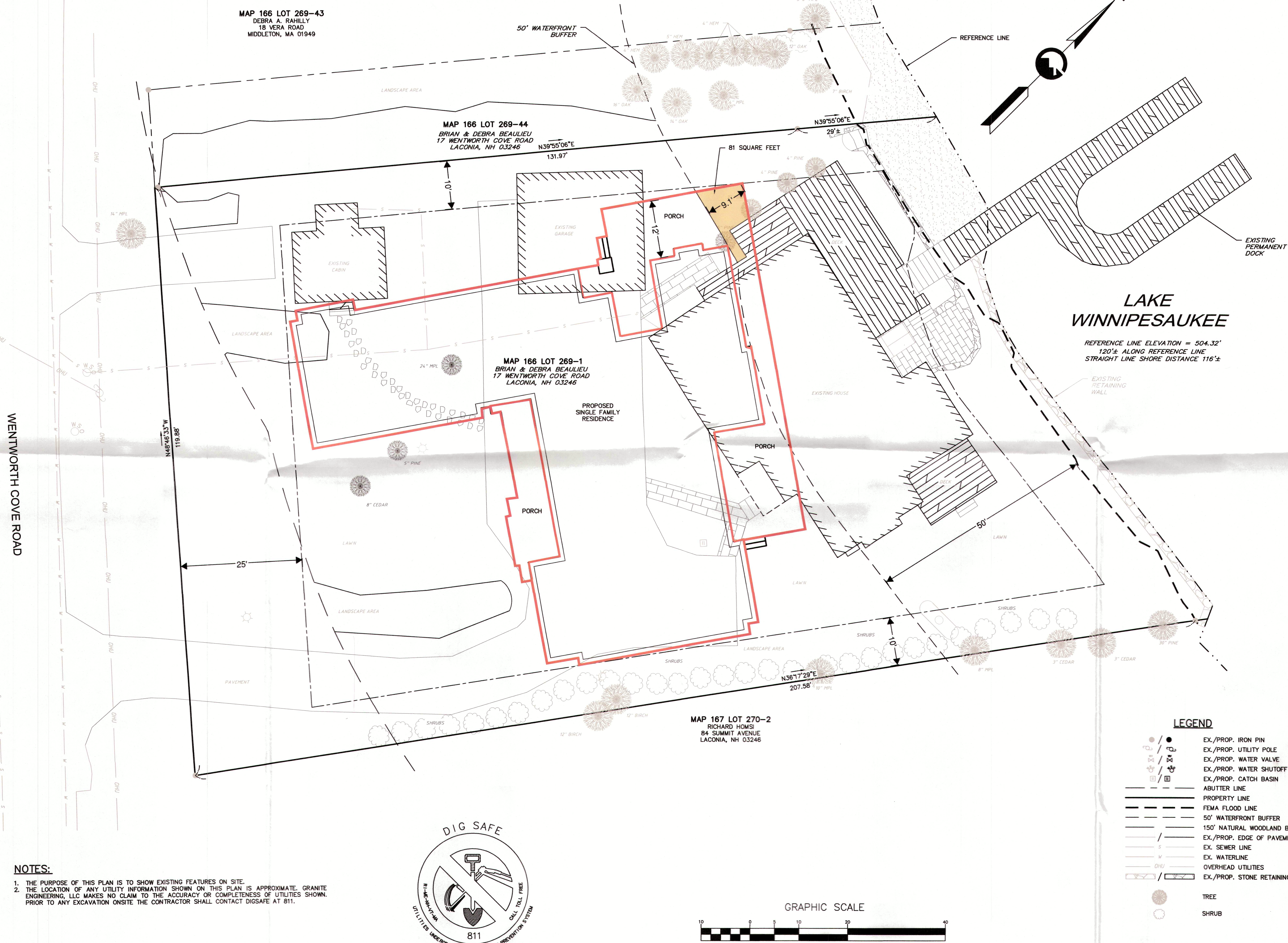
LOCATION: TAX MAP 167 LOT 269-1  
17 WENTWORTH COVE ROAD  
LACONIA, NEW HAMPSHIRE  
BELKNAP COUNTY

PROJECT: 17 WENTWORTH COVE

TITLE: EXISTING CONDITIONS PLAN

PROJECT No. DATE: 24-1022-1 AUGUST 15, 2025 SCALE: HORIZ. 1"=10'

SHEET: 1 OF 1



**NOTES:**

- THE PURPOSE OF THIS PLAN IS TO SHOW EXISTING FEATURES ON SITE.
- THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. GRANITE ENGINEERING, LLC MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIGSAFE AT 811.



NO.	DATE	REVISIONS
0	8/29/2025	PROJECT SUBMITTAL
1	9/29/2025	INVESTIGATE SHORELAND COMMENTS

OWNER: BRIAN & DEBRA BEAULIEU  
17 WENTWORTH COVE ROAD  
LACONIA, NH 03246

APPLICANT: BRIAN & DEBRA BEAULIEU  
17 WENTWORTH COVE ROAD  
LACONIA, NH 03246

**GRANITE ENGINEERING**  
civil engineering • land planning • municipal services

150 Dow Street, Tower 2, Suite 421  
Manchester, New Hampshire 03101  
603.518.8030

www.GraniteEng.com

STAMP:

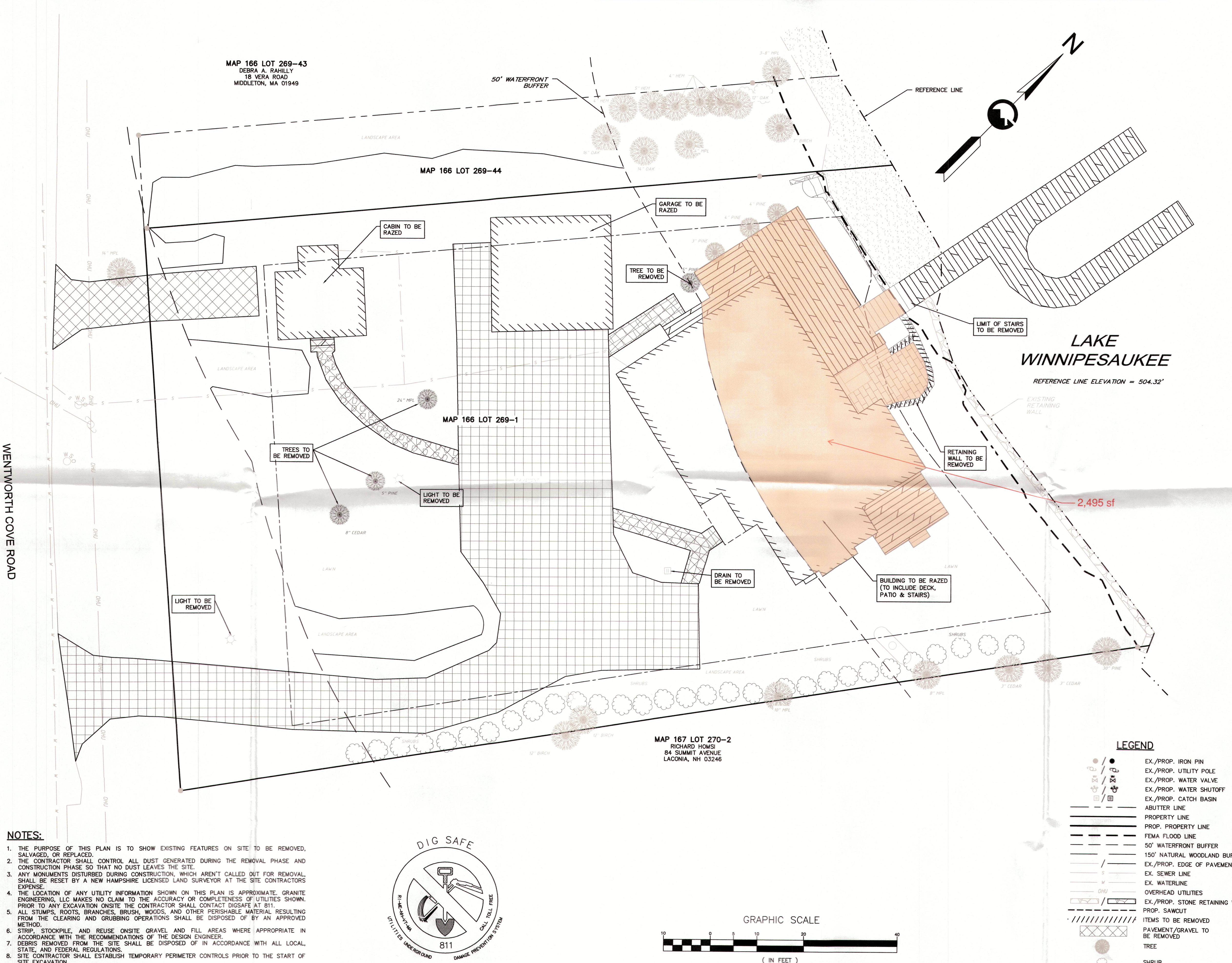
LOCATION: TAX MAP 167 LOT 269-1  
17 WENTWORTH COVE ROAD  
LACONIA, NEW HAMPSHIRE  
BELKNAP COUNTY

PROJECT: 17 WENTWORTH COVE

TITLE: REMOVAL PLAN

PROJECT No. DATE: 24-1022-1 AUGUST 15, 2025 SCALE: HORIZ. 1"=30'

SHEET: 2 OF 5

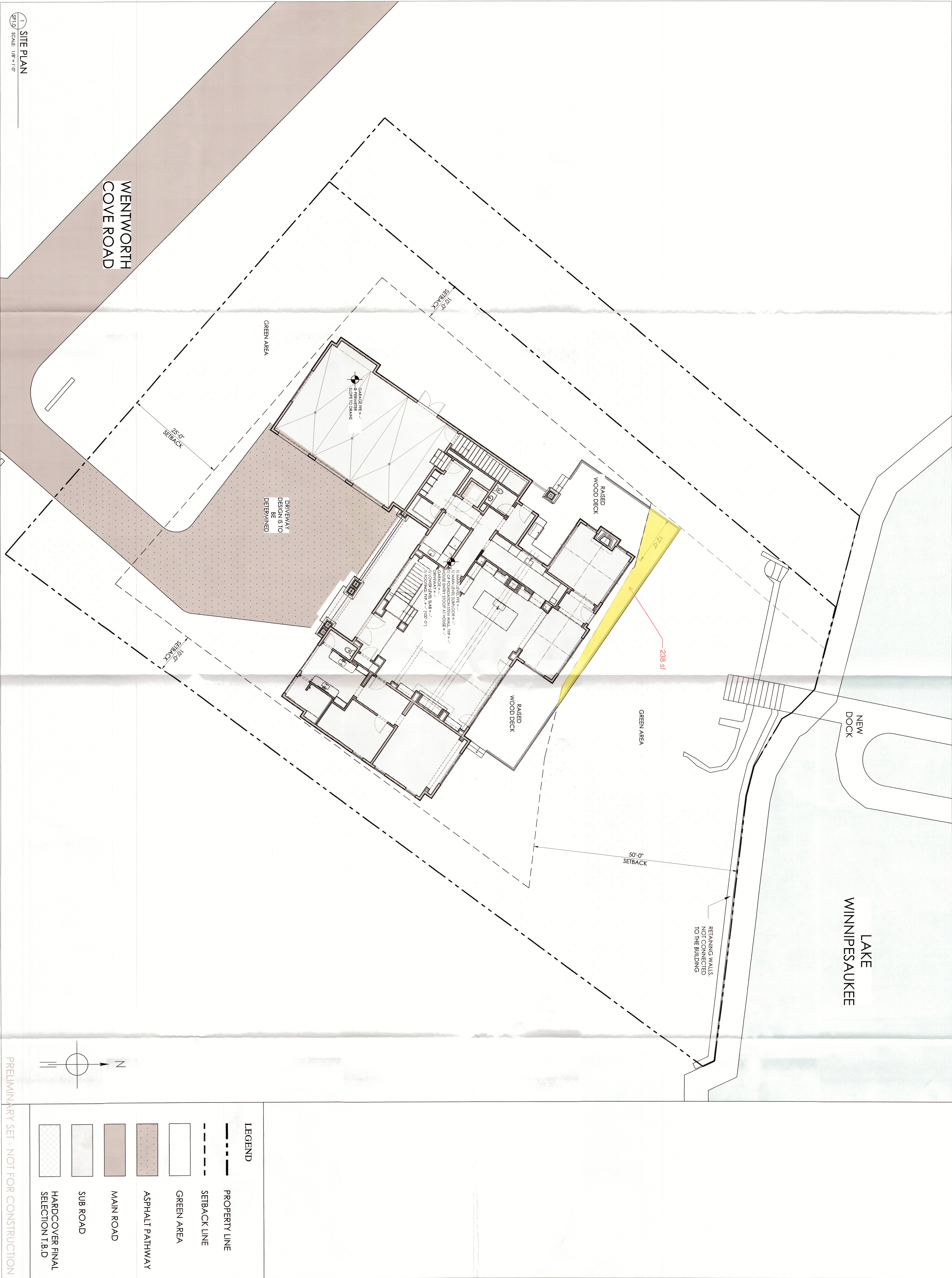


**NOTES:**

- THE PURPOSE OF THIS PLAN IS TO SHOW EXISTING FEATURES ON SITE TO BE REMOVED, SALVAGED, OR REPLACED.
- THE CONTRACTOR SHALL CONTROL ALL DUST GENERATED DURING THE REMOVAL PHASE AND CONSTRUCTION PHASE SO THAT NO DUST LEAVES THE SITE.
- ANY MONUMENTS DISTURBED DURING CONSTRUCTION WHICH AREN'T CALLED OUT FOR REMOVAL SHALL BE RESET BY A NEW HAMPSHIRE LICENSED LAND SURVEYOR AT THE SITE CONTRACTORS EXPENSE.
- THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. GRANITE ENGINEERING, LLC MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT DIGSAFE AT 811.
- ALL STUMPS, ROOTS, BRANCHES, BRUSH, WOODS, AND OTHER PERISHABLE MATERIAL RESULTING FROM THE CLEARING AND GRUBBING OPERATIONS SHALL BE DISPOSED OF BY AN APPROVED METHOD.
- STUMP, STOCKPILE, AND REUSE ON SITE GRAVEL AND FILL AREAS WHERE APPROPRIATE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE DESIGN ENGINEER.
- DEBRIS REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
- SITE CONTRACTOR SHALL ESTABLISH TEMPORARY PERIMETER CONTROLS PRIOR TO THE START OF SITE EXCAVATION.

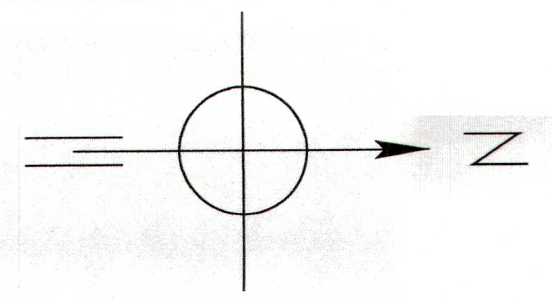






1 SITE PLAN  
SCALE: 1/8" = 1'-0"

PRELIMINARY SET - NOT FOR CONSTRUCTION



LEGEND	
	PROPERTY LINE
	SETBACK LINE
	GREEN AREA
	ASPHALT PATHWAY
	MAIN ROAD
	SUB ROAD
	HARDCOVER FINAL SELECTION T.B.D

BEAULIEU RESIDENCE

17 WENTWORTH COVE RD.  
LACONIA, NH 03246

SP1.0

SHEET:

PROJECT NO.: 303

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THESE ARCHITECTURAL PLANS AND THE HOME  
CONSTRUCTED PURSUANT TO THE PLANS ARE  
THE EXCLUSIVE COPYRIGHTED PROPERTY OF  
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LLC AND ARE PROTECTED BY UNITED STATES  
COPYRIGHT LAW. ANY UNAUTHORIZED USE  
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JMAD ARCHITECTURE

275 Market Street Suite 135  
Minneapolis, MN 55405  
877-796-JMAD  
www.JamesMcNeelArchitectureAndDesign.com

ISSUE:  
2025.12.12





Application #:  
Fees Paid:  
Check #:  
Receipt #:

282026-018  
\$ 275.00  
3550

**ZONING BOARD OF ADJUSTMENT  
VARIANCE APPLICATION**

Name of Applicant: Skyview Acres LLC  
Mailing Address: PO Box 1926, Concord, NH 03302  
Owner (If same as applicant, write "same"): Same  
Mailing Address: Same  
Tax Map/ Lot # (s): 255/241/2 Zoning District (s): RR2  
Street Address: 238 White Oaks Road

**OWNER AUTHORIZATIONS & STATEMENTS OF ASSURANCE:**

I hereby make application to the City of Laconia for the above-referenced property (ies) and the development as described. To the best of my knowledge the information provided herein is accurate and is in accordance with the Zoning Ordinance and land use regulations of the City, except where waivers are requested. The City of Laconia Zoning Board and/or city employees are authorized to enter the property (ies) for purposes of reviewing this proposal and for inspecting improvements as a result of an approval of this proposal. I understand that I am responsible for appearing, or having someone appear on my behalf, at any and all meetings before the Zoning Board.

Sign as appropriate (If agent or non-person please attach certification)  
NOTE: Please attach an Applicant Contact Worksheet

**PROPERTY OWNER(S)**

Peter Grenier

Printed Name Here Duly authorized for Skyview Acres LLC

[Signature]  
Signature of Property Owner(s)

9-22-25  
Date

**AGENT(S)**

John G. Cronin, Esq.

Printed Name Here

[Signature]  
Signature of Agent(s)

9.24.25  
Date

NOTE: This application is not acceptable unless all required statements have been made. Additional information may be supplied on a separate sheet if the space provided is inadequate.

**REQUIRED ATTACHMENTS:**

- Abutters List (from <https://www.axisgis.com/LaconiaNH/>)
- Envelopes and Certified Mail Receipts (Filled out for all abutters)
- Plot Plan (Showing dimensions of proposed building, setback requirements, and encroachments into any setbacks.)

**DUE AT SUBMISSION:**

**10 COPIES OF ENTIRE ZONING BOARD APPLICATION WITH REQUIRED ATTACHMENTS**



235-25 Uses Permitted by Right  
235 -Attachment 2 Table of Dimensional Regulations  
237-17 Wetlands Conservation and Water Quality Overlay

A variance is requested from article \_\_\_\_ section \_\_\_\_ of the Zoning Ordinance to permit \_\_\_\_\_  
Twelve single-family residences - Please see attached

Facts in support of granting the Variance:

1. Granting the variance would not be contrary to the public interest because:  
Please see attached

2. If the variance were granted, the spirit of the ordinance would be observed because:  
Please see attached

3. Granting the variance would do substantial justice because:  
Please see attached

4. If the variance were granted, the values of the surrounding properties would not be diminished because:  
Please see attached

5. Unnecessary Hardship

a. Owing to special conditions of the property that distinguish it from other properties in the area, denial of the variance would result in unnecessary hardship because:

i. No fair and substantial relationship exists between the general public purposes of the ordinance provision and the specific application of that provision to the property because:

Please see attached

ii. The proposed use is a reasonable one because:

Please see attached

-or-

b. If the criteria in subparagraph (a) are not established, an unnecessary hardship will be deemed to exist if, and only if, owing to special conditions of the property that distinguish it from other properties in the area, the property cannot be reasonably used in strict conformance with the ordinance, and a variance is therefore necessary to enable a reasonable use of it.

Please see attached



## **VARIANCE ATTACHMENT**

Sky View Acres, LLC (the "Applicant") seeks variances to allow the development of a certain property known as 238 White Oaks Road, Laconia, New Hampshire ("Property"). The Property is 10.63 acres and is burdened by split zoning classifications. The majority of the Property, fronting on White Oaks Road, is located in the R2 Zoning District. The rear section of the Property is located in the R1 Zoning District. The existing home is in disrepair and beyond restoration.

The Applicant initially proposed to develop the Property as a colonial style village with duplex living opportunities served by a circular driveway. The initial development plan included 12 structures with 22 duplex homes. The feedback from the public and the Honorable Board was the proposal was too dense and duplex style homes were not consistent with the area. As discussed at the hearing, the Applicant and its consulting engineer, returned to the drawing board to revise the project to address the concerns raised at the hearing.

The new proposal is considerably different. The density is substantially reduced and the homes are limited to single-family residences which are harmonious with the character of the neighborhood. The design remains influenced by colonial architecture in the village style consistent with early colonial development. The Applicant contends the existing zoning is dated and does not consider the recent sewer improvements that service the property. Historically, larger lots were required to meet septic requirements and well radius specifications. As sewer is available and intended to service this project, the usual density concerns are not applicable. It is anticipated that, as the City works through the new master plan and amends its zoning ordinance, the classification for this property and others serviced by public sewer will change.

The southwest corner of the Property has a man-made wetland that was created by the parking of farming equipment when the Property was operated as a working farm. The wetland is isolated and has nominal wetland function. The area is dry in all but the spring months. The plan, as discussed with officials at DES, is to fill the area and pay a mitigation fee to the State of New Hampshire.

The proposal is consistent with the cluster zoning permitted in other zones. A condominium is located on the west side of the Property.

## **RELIEF REQUESTED**

The Applicant understands the following relief is required:

235-25 Uses Permitted by Right  
235 -Attachment 2 Table of Dimensional Regulations  
237-17 Wetlands Conservation and Water Quality Overlay



## VARIANCE ELEMENTS

### 1. Granting the variance would not be contrary to the public interest because:

Under the law as set forth in Harborside Associates, L.P. v. Parade Residence Hotel, I.I.C., 162 N.H. 508 (2011), “[t]he requirement that the variance not be contrary to the public interest is related to the requirement that [it] be consistent with the spirit of the ordinance. [...] As the provisions of the ordinance represent a declaration of public interest *any* variance would in some measure be contrary thereto. Accordingly, to adjudge whether granting a variance is not contrary to the public interest and is consistent with the spirit of an ordinance, we must determine whether the variance would “unduly, and in a marked degree conflict with the ordinance such that it violates the ordinance’s basic zoning objectives. Thus, for a variance to be contrary to the public interest and inconsistent with the spirit of the ordinance, its grant must violate the ordinance’s “basic zoning objectives” [and mere] conflict with the terms of the ordinance is insufficient.” *Id.* at 514. In order for a variance to unduly violate an ordinance’s “basic zoning objectives,” granting the variance must “alter the essential character of the neighborhood” or “threaten the public health, safety or welfare.” *Id.*

Here, the grant of the requested variance will not be contrary to the public interest. More specifically, the grant of the variance will not unduly conflict with the basic objectives of the relevant zoning ordinance as it will not substantially alter the essential character of the area. In fact, the development if approved, will advance the public interest. The density is reduced to twelve homes and is limited to single family residences. The character of the neighborhood is mixed ranging from farm land, large single-family homes, small single-family homes, condominiums and even a motorcycle club.

The structures will be of colonial design in a village composition and will adhere to all applicable building and life safety codes.

### 2. Granting the variance will not be contrary to the spirit of the ordinance because:

It is important to note that this test is in the negative. That is to say that it does not require the Applicant to prove that the proposed use is *in* the public interest, but only to prove that it is *not contrary to* the public interest.

In keeping with the law as outlined above in *Harborside*, here the spirit of the ordinance element is related to the public interest element and the factors are the same. As such, for the reasons set forth above, the grant of the variance will not be contrary to the spirit of the ordinance.

Moreover, the spirit of the ordinance is still observed as the proposed project will not alter the essential character of neighborhood as the proposed project maintains single family residences. Single family residential use is allowed in the zone.



3. The proposed use would not diminish surrounding property values because:

The value of the improvements and finishes will replace an older building in need of repair. The elevations included with the application speak for themselves. The development will add to the value of surrounding property values and result in a community benefit. The reduced density and limitation to single family residences will address concerns raised in the prior plan. This prong should be considered in the context of what other allowed uses could be developed on the property. During the trip back to the drawing board, the Applicant learned that a campground, subject to state density regulations, is permitted by Special Exception.

4. By granting the variance, substantial justice would be done because:

The loss to the applicant, in the event that a variance is denied, outweighs any gain to the general public. Here, it is not feasible to build an interior road within the property due to cost, land loss and setbacks. The site costs will exceed the value of any lots approved in a classic form of subdivision. The harm to the public is not different than other development. The land will be developed in a positive manner in terms of design and finishes. The project will provide needed new housing in the community of a new design. The tax base will be increased. The public will also benefit from this development as it will negate the ability to construct substantially more units if proposed legislation to allow half acre lots with sewer passes the legislature this session.

5. Denial of the variance would result in unnecessary hardship to the owner owing to the special conditions of the land because:

(A) No fair and substantial relationship exists between the general public purposes of the ordinance and the specific application to the Property.

The zoning classifications established for this property pre-date the recent sewer improvements that service the property. The existing zoning, requiring larger lots and less density was due to the lack of sewer and the need to manage sewer discharge with septic systems with leach fields. The large lots were also required to maintain well radius distances from leach fields. With the arrival of public sewer service, there is no relationship between the purpose of the ordinance and the application to this property. It is believed that if zoned today, the parcel would not be in a R1 or R2 zone. There is no health, safety or welfare benefit to requiring lots with public sewer to be 2 acres in size.

(B) The proposed use is reasonable.

The proposed use is reasonable. The single-family homes proposed are consistent with the single-family requirements in the zone and offer a housing product that is not generally available in the City of Laconia.



**LETTER OF AUTHORITY/PERMISSION**

The undersigned, being the owner of the property known as 238 White Oaks Road, Map 255, Lot 241-2, hereby grants authority and consent to attorneys at Cronin, Bisson & Zalinsky, P.C. to sign and file ZBA and Planning Board applications and any related materials on my behalf and deliver the same to the Town of Laconia, represent me at any hearing(s) concerning these applications, and perform all other necessary actions in connection with such applications.

  
\_\_\_\_\_  
Signature

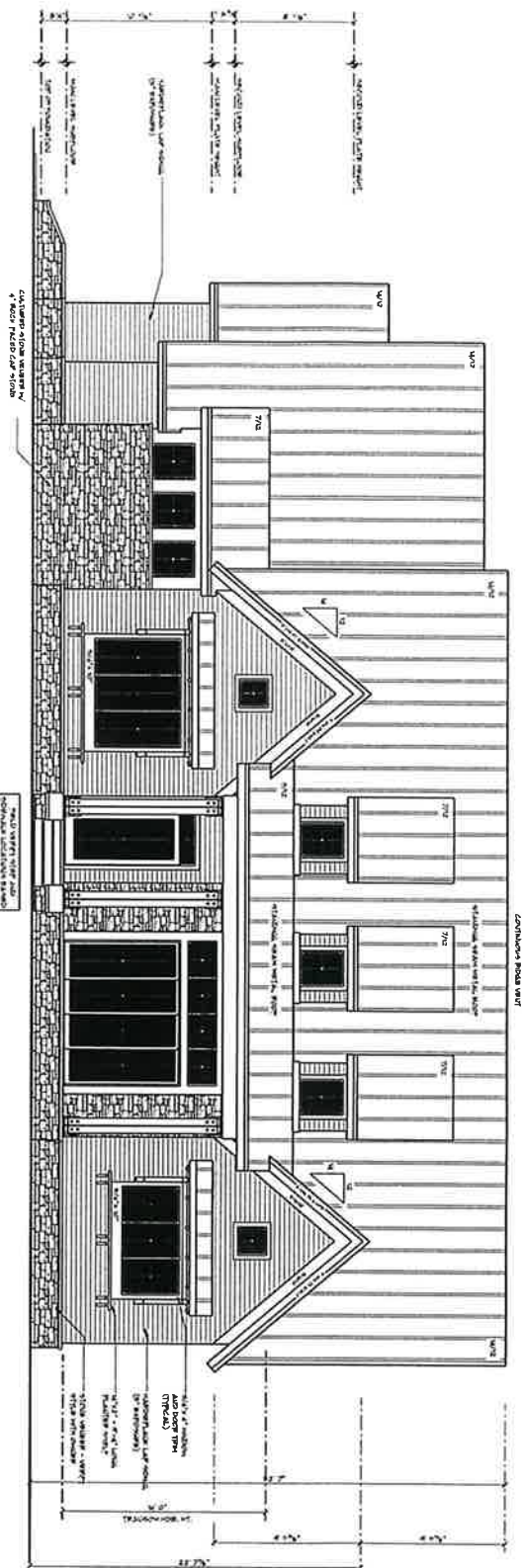
9-22-25  
Date

Peter Grenier,  
Duly Authorized for Skyview Acres, LLC



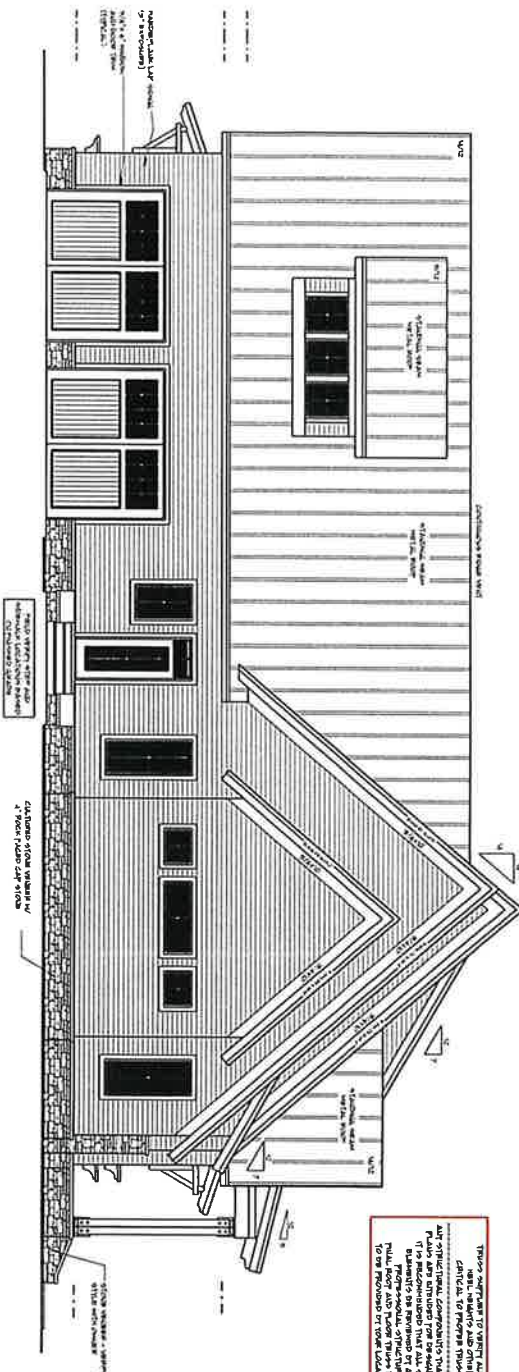
# FRONT ELEVATION

SCALE: 1/4" = 1'-0"



# LEFT ELEVATION

SCALE: 1/4" = 1'-0"



THIS DRAWING IS A PART OF THE SET OF ARCHITECTURAL DRAWINGS FOR THE PROJECT. IT IS TO BE USED IN CONJUNCTION WITH THE OTHER DRAWINGS IN THE SET. IT IS NOT TO BE USED SEPARATELY. ANY CHANGES TO THIS DRAWING MUST BE MADE IN CONJUNCTION WITH THE OTHER DRAWINGS IN THE SET. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY RESULTING FROM THE USE OF THESE DRAWINGS. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY RESULTING FROM THE USE OF THESE DRAWINGS.

AREA TABULATION	
Overall Area	2,247 sq ft
Living Area	2,247 sq ft
Bedroom Area	900 sq ft
Total Living Area	2,247 sq ft
Bedroom Area	900 sq ft
Total Living Area	2,247 sq ft

NOTE: AREA AND CALCULATION FOR THE ABOVE AREAS ARE BASED ON THE EXISTING SITE. ALL DIMENSIONS ARE IN FEET AND INCHES. ALL DIMENSIONS ARE IN FEET AND INCHES.

## GENERAL NOTES

- 1. ALL DIMENSIONS ARE IN FEET AND INCHES. ALL DIMENSIONS ARE IN FEET AND INCHES.
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## EXTERIOR FINISHES

- 1. EXTERIOR FINISHES ARE TO BE AS SHOWN ON THE DRAWINGS.
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- 6. EXTERIOR FINISHES ARE TO BE AS SHOWN ON THE DRAWINGS.
- 7. EXTERIOR FINISHES ARE TO BE AS SHOWN ON THE DRAWINGS.
- 8. EXTERIOR FINISHES ARE TO BE AS SHOWN ON THE DRAWINGS.
- 9. EXTERIOR FINISHES ARE TO BE AS SHOWN ON THE DRAWINGS.
- 10. EXTERIOR FINISHES ARE TO BE AS SHOWN ON THE DRAWINGS.

NOTE: AREA AND CALCULATION FOR THE ABOVE AREAS ARE BASED ON THE EXISTING SITE. ALL DIMENSIONS ARE IN FEET AND INCHES. ALL DIMENSIONS ARE IN FEET AND INCHES.

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Project name and other information.

Original Draft Date: 08/18/2018

Document Date: 08/20/2018

Document Phase: Design

Drawn by: SKD

Check Date: 08/20/2018

Check by: SKD

ELEVATIONS

**CL-18-012**  
**THE ARIANA MARIE**  
**BASEMENT - 10ft MAIN**  
**2 CAR SIDE - STANDARD**



www.royaloaksdesign.com

501-944-1779

100% SCALE @ 3/8"=1'-0"

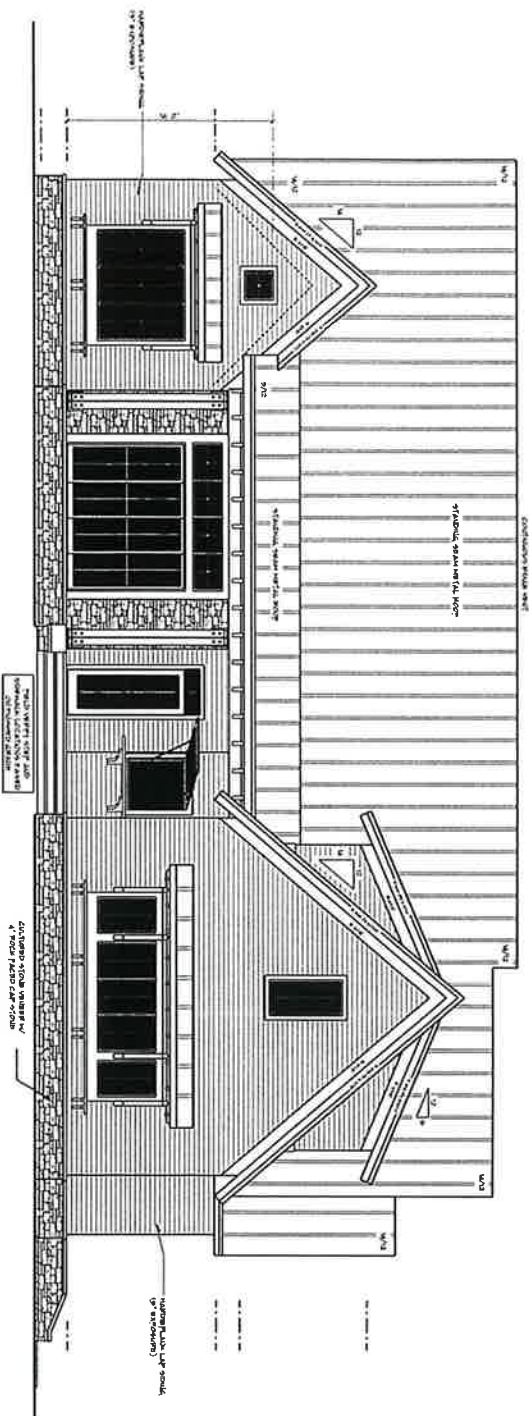






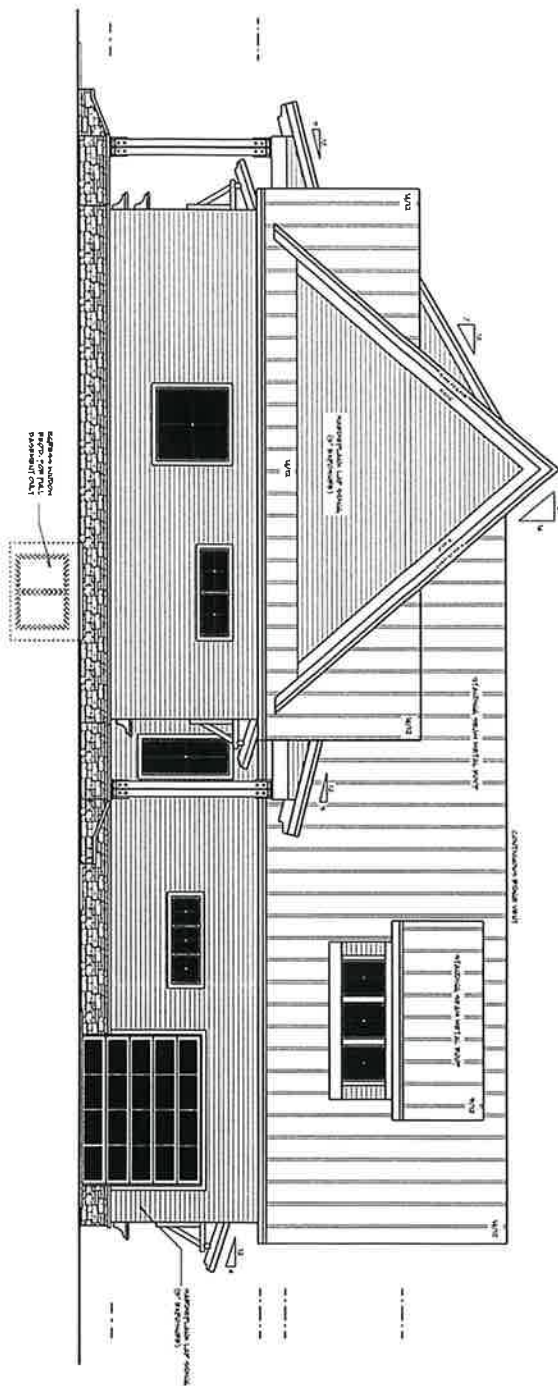
## REAR ELEVATION

SCALE: 1/4" = 1' 0"



## RIGHT ELEVATION

SCALE: 1/4" = 1' 0"



AREA TABULATION	
LOFT AREA	2287 sq
MAIN LEVEL	2287 sq
SECOND FLOOR	978 sq
TOTAL FINISHED	5552 sq
TOTAL UNFINISHED	904 sq
FOOTING	44 sq
FOUNDATION	44 sq
ROOF	44 sq

NOTES:  
1. ALL FINISHED AREAS ARE TO BE FINISHED WITH 1/2" PLASTER OR GYPSONUM.  
2. ALL UNFINISHED AREAS ARE TO BE FINISHED WITH 1/2" PLASTER OR GYPSONUM.  
3. ALL ROOF AREAS ARE TO BE FINISHED WITH 1/2" PLASTER OR GYPSONUM.  
4. ALL FOUNDATION AREAS ARE TO BE FINISHED WITH 1/2" PLASTER OR GYPSONUM.  
5. ALL FOOTING AREAS ARE TO BE FINISHED WITH 1/2" PLASTER OR GYPSONUM.

### GENERAL NOTES

- ALL FINISHED AREAS ARE TO BE FINISHED WITH 1/2" PLASTER OR GYPSONUM.
- ALL UNFINISHED AREAS ARE TO BE FINISHED WITH 1/2" PLASTER OR GYPSONUM.
- ALL ROOF AREAS ARE TO BE FINISHED WITH 1/2" PLASTER OR GYPSONUM.
- ALL FOUNDATION AREAS ARE TO BE FINISHED WITH 1/2" PLASTER OR GYPSONUM.
- ALL FOOTING AREAS ARE TO BE FINISHED WITH 1/2" PLASTER OR GYPSONUM.

### EXTERIOR FINISHES

- SIDING: HORIZONTAL SIDING
- SIDING: VERTICAL SIDING
- SIDING: SHINGLE SIDING
- SIDING: STUCCO SIDING
- SIDING: BRICK SIDING
- SIDING: CONCRETE SIDING
- SIDING: METAL SIDING
- SIDING: OTHER SIDING

These drawings are for informational purposes only. They are not to be used for construction without the approval of the architect. The architect is not responsible for the accuracy of the information provided in these drawings. The architect is not responsible for the accuracy of the information provided in these drawings. The architect is not responsible for the accuracy of the information provided in these drawings.

ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

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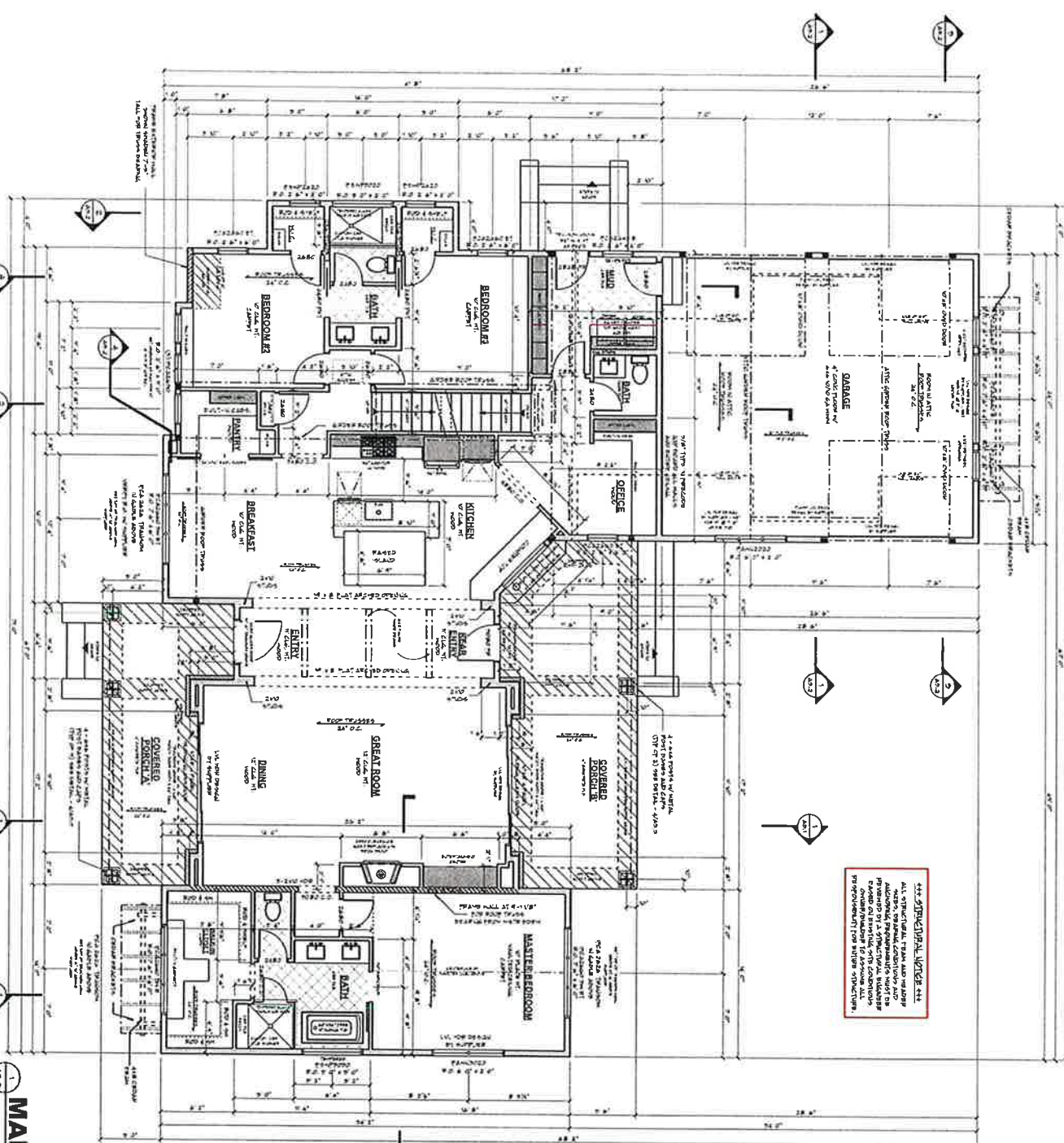
**CL-18-012**  
THE ARIANA MARIE  
BASEMENT - 10ft MAIN  
2 CAR SIDE - STANDARD

ROYAL OAKS  
DESIGN

2  
A1.2  
8



## MAIN LEVEL FLOOR PLAN



+++ STRUCTURAL WORKS +++

ALL STRUCTURAL TEAM AND MEMBER  
MEMBERS, ON AVERAGE, COLLECTED AND  
ANALYZED PROPOSALS THAT MUST BE  
MEMBERS OF A STRUCTURAL SUBCOMMITTEE  
BASED ON AVERAGE AND COLLECTED  
ON AVERAGE FOR ALL STRUCTURAL  
PROPOSALS FOR ALL STRUCTURAL

GENERAL NOTES - MAIN FLOOR

- make every effort not to make too many friends. It's not accurate and complete. The group / business may want all decisions, consultation, however, the categories and specific roles, sizes or structural members such as positions, positions, skills, positions, teams, zones, partners, the way to go for people and power purposes etc.

Methods[illegible]

**MAJOR SYSTEM**

- standardised floor plans -> houses prepared to meet video production of 1945
- houses built in clusters to promote diversity for all, variety in architectural styles
- houses built in strips to support suburban lifestyle, built close to front roads
- houses built in clusters to vary locations of air ducts
- communities and private property owned as a strategy
- development was more a strategy of control of suburbs rather than capitalism

**PCAWV's**

[illegible]

240-8 FBFB-200UTS A 2'-4" WDB

AREA TABULATION	
LOWEST LEVEL	2287 OF
MIDDLE LEVEL	2287 OF
HIGHEST LEVEL	999 OF
TOTAL PUBLISHED	2287 OF
TOTAL UNPUBLISHED	999 OF
DATE OF PUBLICATION	DATE OF PUBLICATION
DATE OF PUBLICATION	DATE OF PUBLICATION
DATE OF PUBLICATION	DATE OF PUBLICATION

1.0000 APPROX ARE CALCULATED FROM  
 THE OUTGOING FUNDATION VALUE  
 AND/OR OUTGOING PRICE OF  
 \$17.00 PER \$1.00 OF FUNDAMENTAL VALUE  
 THESE ARE CALCULATED AT CALCULATIONS  
 AT ALL LEVELS

**ROYAL OAKS**  
DESIGN  
411  
855/664-3726  
www.royaloaksdesign.com  
West Linstead, MN 55087

**CL-18-012**  
**THE ARIANA MARIE**  
**BASEMENT - 10ft MAIN**  
**2 CAR SIDE - STANDARD**



When you do a large sign-on to add more of our people or to request modifications,

**Original Draft Date:**

Document Date:

Document Phase:

Drawn by: SKD

Year	Cost	Revenue
1990	100	100
1991	100	100
1992	100	100
1993	100	100
1994	100	100
1995	100	100
1996	100	100
1997	100	100
1998	100	100
1999	100	100
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2097	100	100
2098	100	100
2099	100	100
2100	100	100

11/11/2014

2

**PAVING**

**Journal of Management Education**

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## A2.3

## SECOND FLOOR PLAN

- Plastic materials (Growth Phase)
- 1-1.5% water level
- promote solid blackish AT
- all point loads
- all different door and vent types
- to DR 3-2.5% water level
- 07/09/2019
- - all walls would be made
- all walls continuous to
- foundation below - verify
- loads w/ local structural
- building

[illegible]

methods, site conditions and specifications. One of specific groups such as football, foundation work, ponds, drains, drains, railways, tunnels etc are for people and private properties only.

**GENERAL NOTES**  
**SECOND FLOOR**

\*\*\* STRUCTURAL NOTICE \*\*\*

All structural, drain and seepage areas, drainage conditions and all structural requirements must be provided by a structural engineer based on available site conditions. Owner/Builder to assume all responsibility for other structures.

THOSE CAPABLE OF WORKING WITHIN, OUTSIDE, OR BOTH ARE INVITED TO PARTICIPATE IN THE SPECIAL EDUCATION OFFICE TO PREPARE SPECIAL EDUCATION.

AREA TABULATION	
LONGER LEVEL	2287 SF
WIDER LEVEL	2287 SF
WALL THICKNESS	999 SF
TOTAL THICKNESS	2287 SF
TOTAL WALLS	999 SF
CEILING AREA	4474 SF
FLOOR AREA	4474 SF
TOTAL AREA	8948 SF

ALL/CM ON/NO PAGE 01  
BATHROOM STUD AT PRASED WALLS  
STAIRS AND HALLWAY OF CALCULATIONS  
AT ALL LEVELS

Please scan or visit  
[www.pubsci.hku.hk/journal](http://www.pubsci.hku.hk/journal)

**Original Draft Date:**  
09/18/2018

**Document Date:**  
8/4/2024

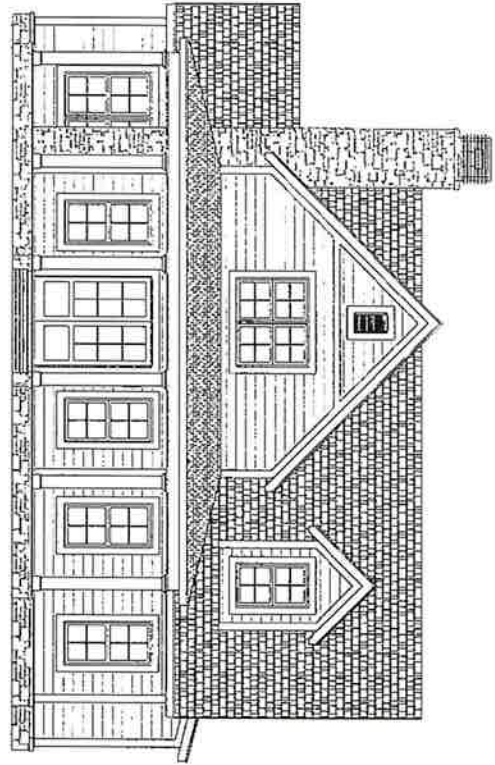
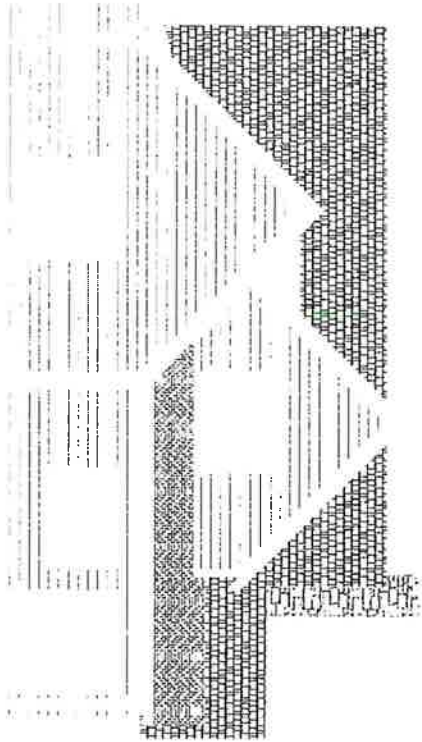
**Document Phase:**

DATE	DATE	REMARKS
01	01/01/99	Initial Survey - 1st
02	02/01/99	1st Survey - 2nd

**CL-18-012**  
**THE ARIANA MARIE**  
**BASEMENT - 10ft MAIN**  
**2 CAR SIDE - STANDARD**

**ROYAL OAKS  
DESIGN**  
651-864-7726  
www.royaloaksdesign.com  
Wood Laminating, Mill Siding

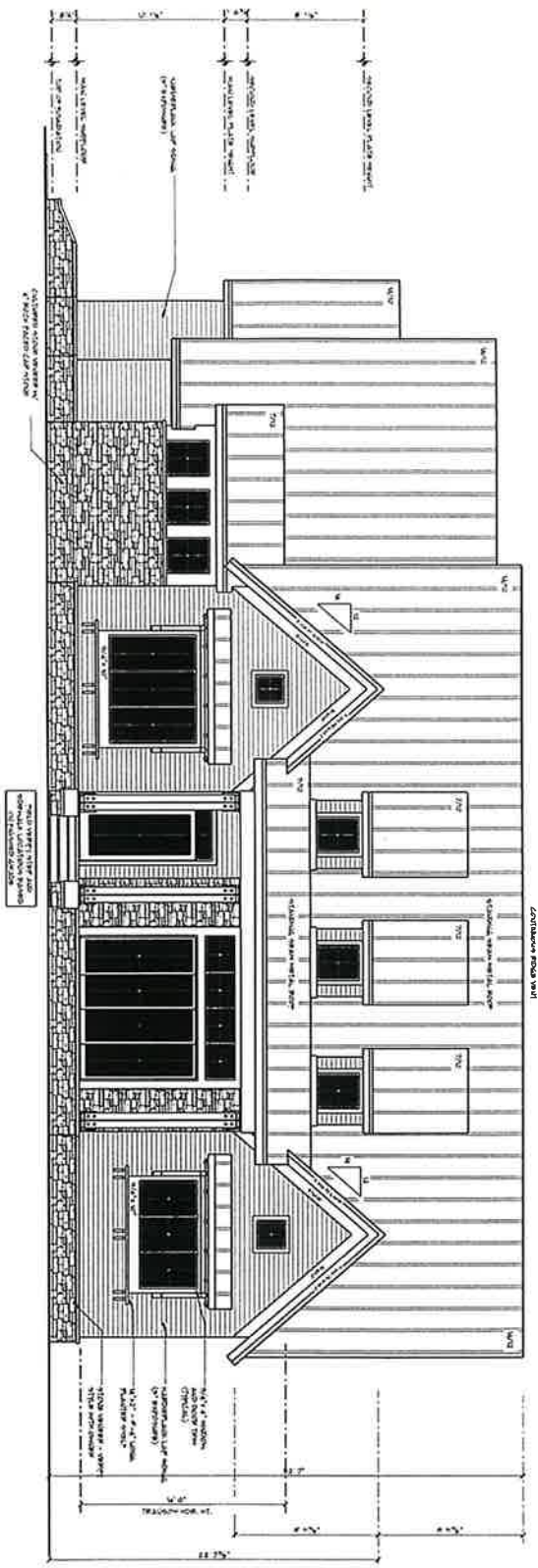






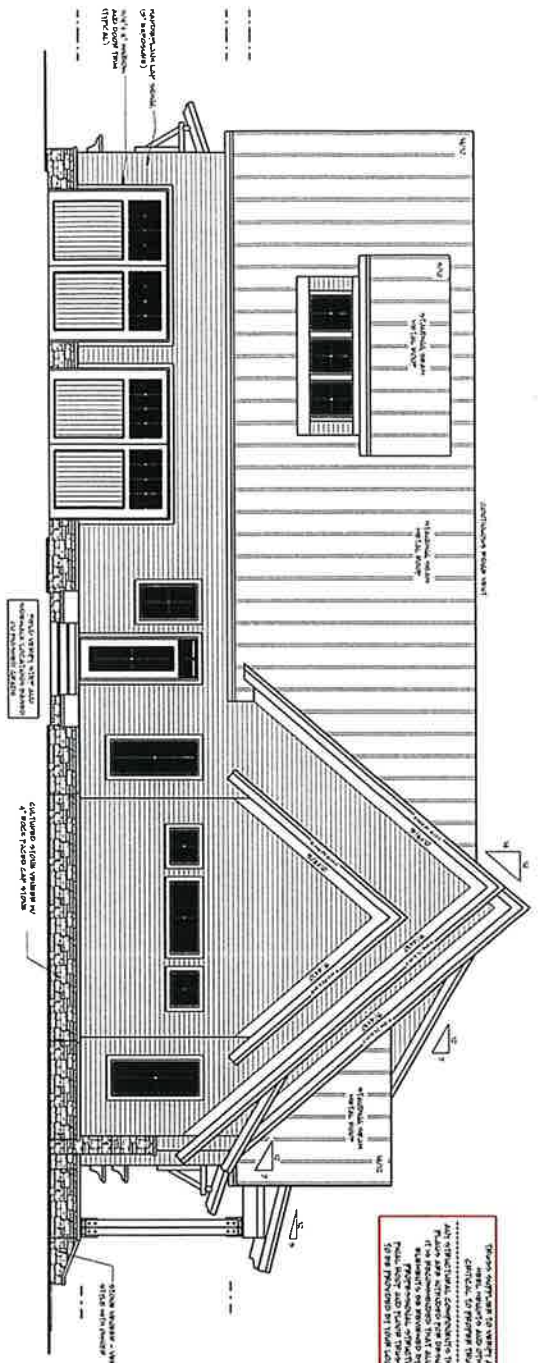
# 1 FRONT ELEVATION

SCALE: 1/4" = 1'-0"



# 2 LEFT ELEVATION

SCALE: 1/4" = 1'-0"



Drawings are to be used for construction. They are not to be used for any other purpose. The owner is responsible for obtaining all necessary permits and for ensuring that the construction complies with all applicable codes and regulations. The architect is not responsible for any errors or omissions in the drawings or for any consequences that may result from the use of these drawings.

AREA TABULATION	
Lot Area	2,287 sq. ft.
Buildable Area	2,287 sq. ft.
Basement Area	999 sq. ft.
1st Fl. Area	1,287 sq. ft.
2nd Fl. Area	999 sq. ft.
3rd Fl. Area	999 sq. ft.
4th Fl. Area	999 sq. ft.
5th Fl. Area	999 sq. ft.
6th Fl. Area	999 sq. ft.
7th Fl. Area	999 sq. ft.
8th Fl. Area	999 sq. ft.
9th Fl. Area	999 sq. ft.
10th Fl. Area	999 sq. ft.

## GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC).
2. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR ENSURING THAT THE CONSTRUCTION COMPLIES WITH ALL APPLICABLE CODES AND REGULATIONS.
3. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE DRAWINGS OR FOR ANY CONSEQUENCES THAT MAY RESULT FROM THE USE OF THESE DRAWINGS.
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\*\*\* SITE SPECIFIC NOTES \*\*\*  
 ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC).  
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CL-18-012  
THE ARIANA MARIE  
BASEMENT - 10ft MAIN  
2 CAR SIDE - STANDARD

**ROYAL OAKS DESIGN**

853.964.2736  
www.royaloaksdesign.com  
100% SCALE @ 3/8"=1'-0"

Original Draft Date: 08/10/2018  
Document Date: 08/10/2018  
Document Phase: Design

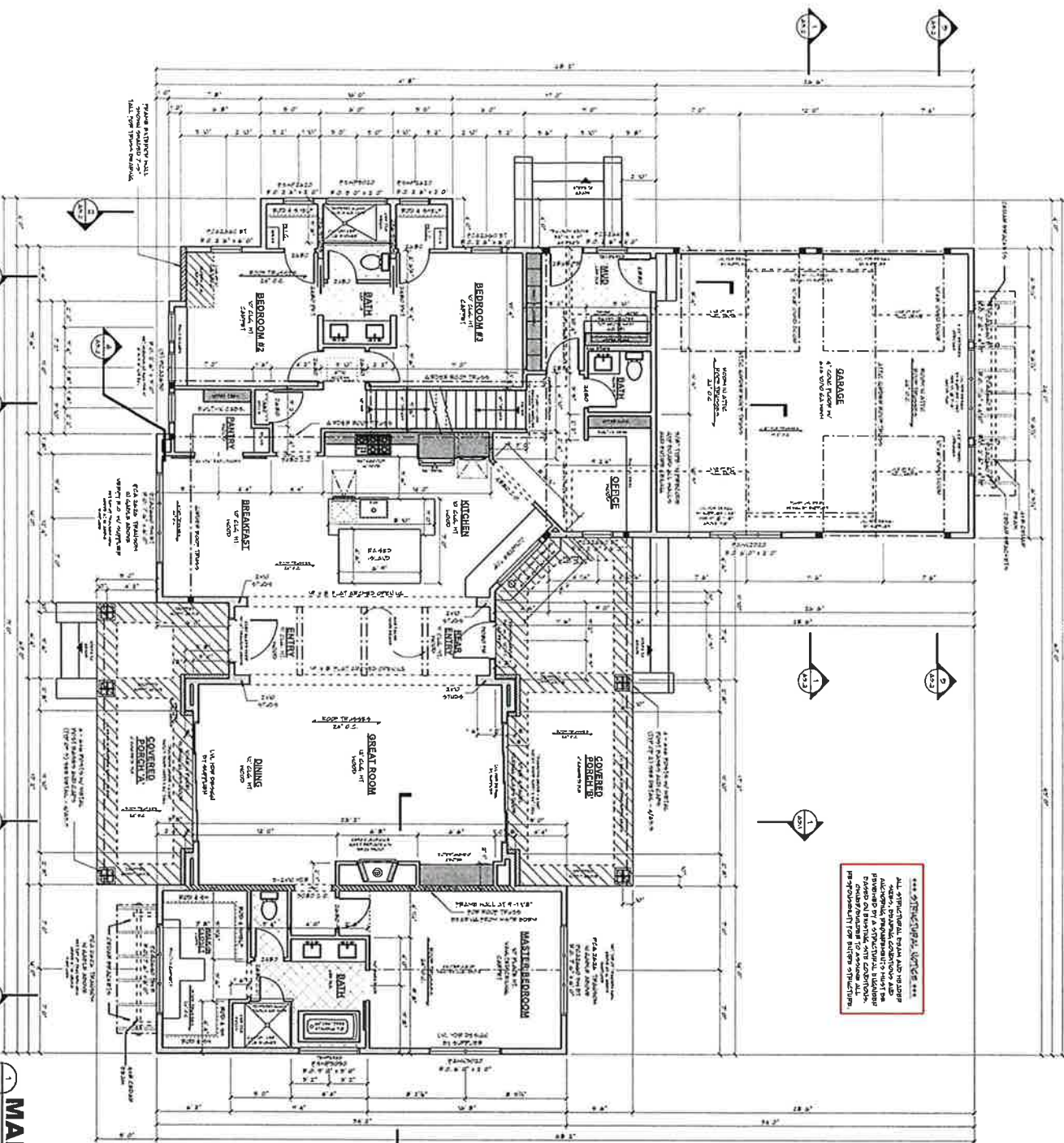
Drawn by: SKD  
Check by: KLM  
Scale: 1/4" = 1'-0"

1 A1.1 8









# MAIN LEVEL FLOOR PLAN

100% SCALE @ 3/8"=1'-0"

4 A2.2 8

MAIN FLOOR

CL-18-012

THE ARIANA MARIE

BASEMENT - 10ft MAIN

2 CAR SIDE - STANDARD

ROYAL OAKS DESIGN

651-564-2726

www.royaloakdesign.com

100% SCALE @ 3/8"=1'-0"

CL-18-012

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100% SCALE @ 3/8"=1'-0"

CL-18-012

THE ARIANA MARIE





1  
ASD  
**SECOND LEVEL FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

## A2.3

AREA TABULATION	
LOOSE LEVEL	2287 sq
MAIN LEVEL	2287 sq
ROOF AREA	2287 sq
TOTAL FLOORBOARD	2287 sq
TOTAL FLOOR AREA	2904 sq
GLASS AREA	644 sq
POUCH "A"	163 sq
POUCH "B"	163 sq

TOTAL AREA AND CALCULATION  
 THE OUTLINE OF FOUNDATION WALLS  
 AND/OR OTHER FACE OF  
 BETWEEN 4000 AT PERMITS PLANS

OTHER APP. ALLOWED IN CALCULATION  
 AT THE PERMITS

**GENERAL NOTES -**  
**SECOND FLOOR**

WILDON  
- MATERIAL

[illegible]

- PLATE MOUNTS (PAPER MOUNTS)

- **PROPOS** **SOLD** **BLINDLY** AT ALL PART LEADS
- ALL BIDDERS DROP AND WHEN HOPES TO BE 5-210 UNLESS WORKS OTHERWISE
- **DRILLER'S** **SOLD** **BEARING** ALL CONTRIBUTIONS TO FUNDATIONAL PROBLEM - VERY LOW AND LOCAL 3 FUNDATIONAL PROBLEMS

DOOF SCHEDULE SYMBOL  
2408 RPPROGOLYS A 2'-4" MOD  
2 6'-8" HIGH DOOF

**CL-18-012**  
**THE ARIANA MARIE**  
**BASEMENT - 10ft MAIN**  
**2 CAR SIDE - STANDARD**



www.rojaleadsign.com  
to see more of our plans or  
to request modifications.

Original Draft Date: 09/18/2018  
Document Date: 8/4/2024  
Document Phase:

Year	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099	2100
2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099	2100	

**ROYAL OAKS  
DESIGN**

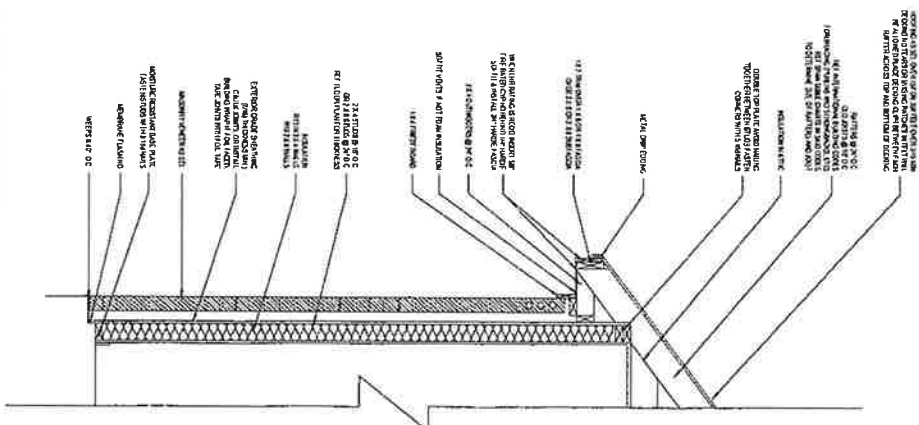
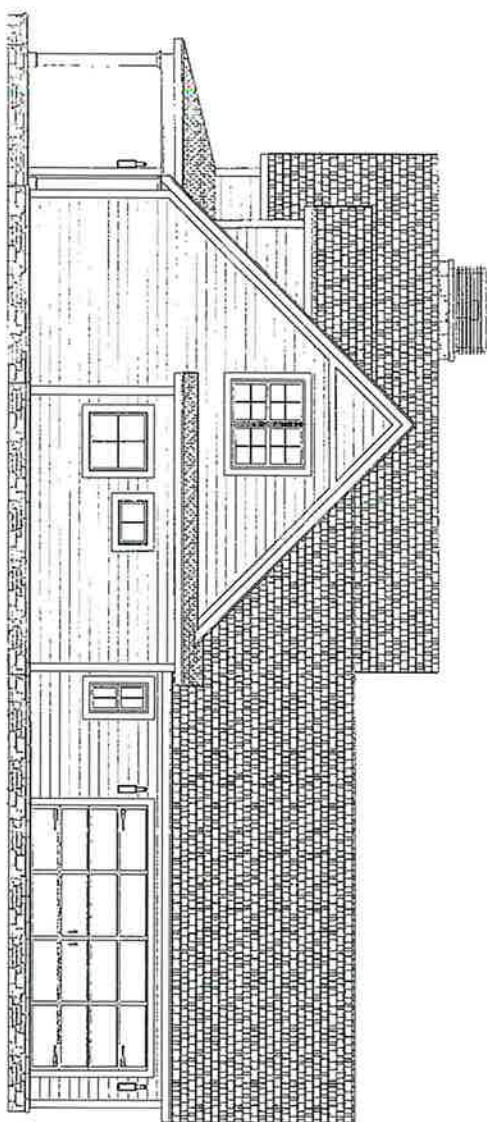
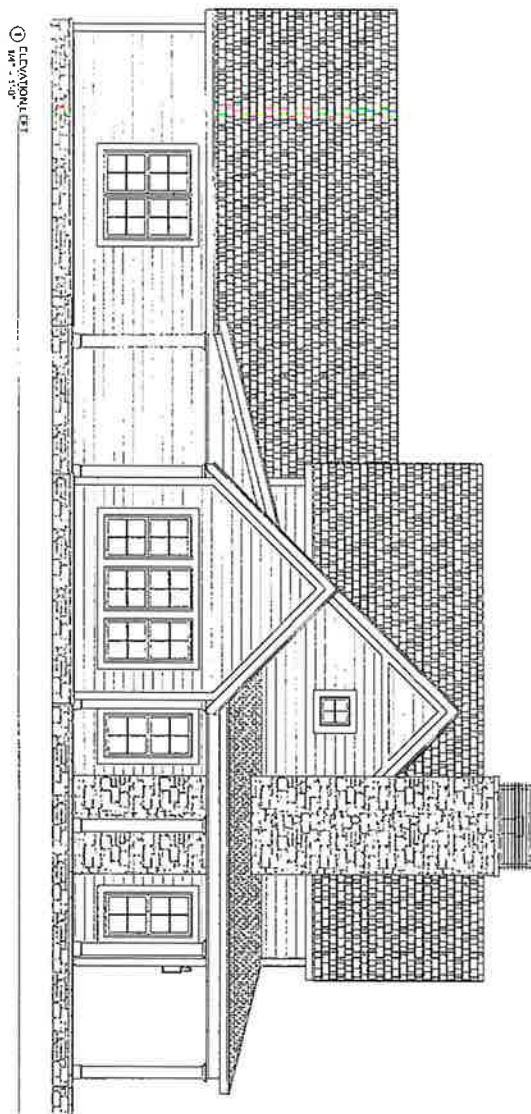
661.966.1776

[www.royaloakdesign.com](http://www.royaloakdesign.com)  
West Lafayette, IN 46082







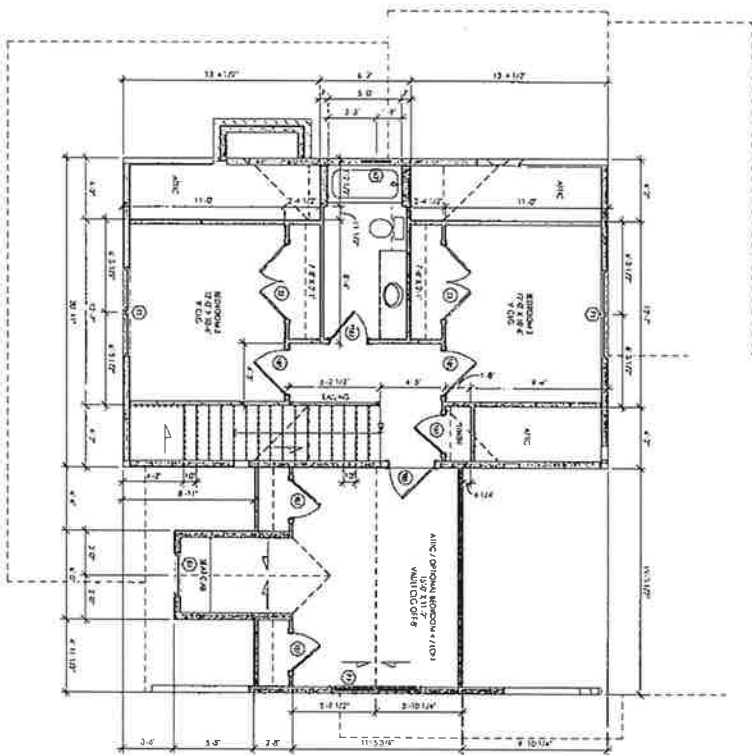
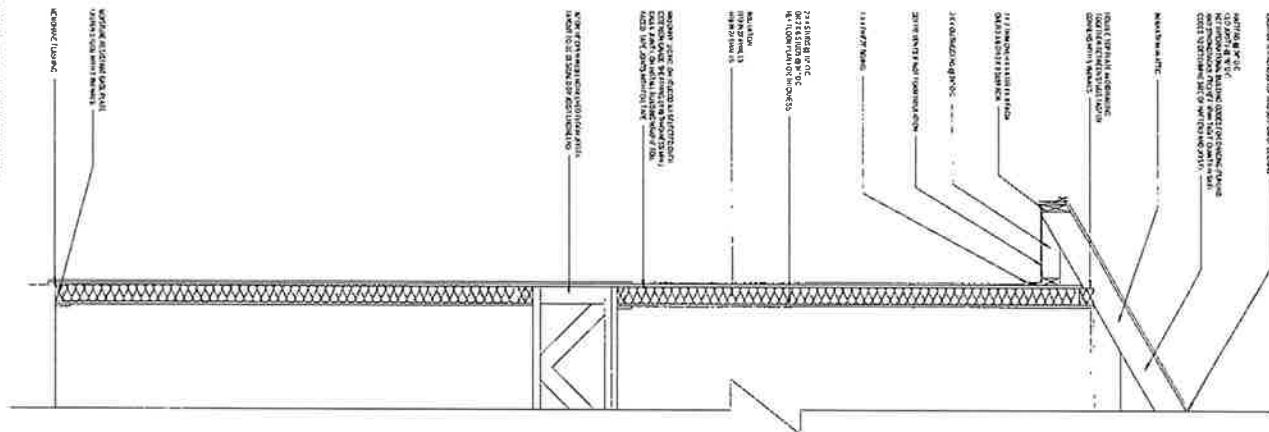




- 10/29/2024 4:01:66 PM



# WALL-2 ENTRY WOOD FRAMING



## DOOR SCHEDULE

ITEM	DESCRIPTION
1	1\"/>

## WINDOW SCHEDULE

ITEM	DESCRIPTION
1	1\"/>

AREAS	
LOCATION	SQ. FT.
1ST FLOOR LIVING	1,540 SF
2ND FLOOR	228 SF
HIGHER FLOOR	425 SF
GAUGE	154 SF
TOTAL	2,348 SF

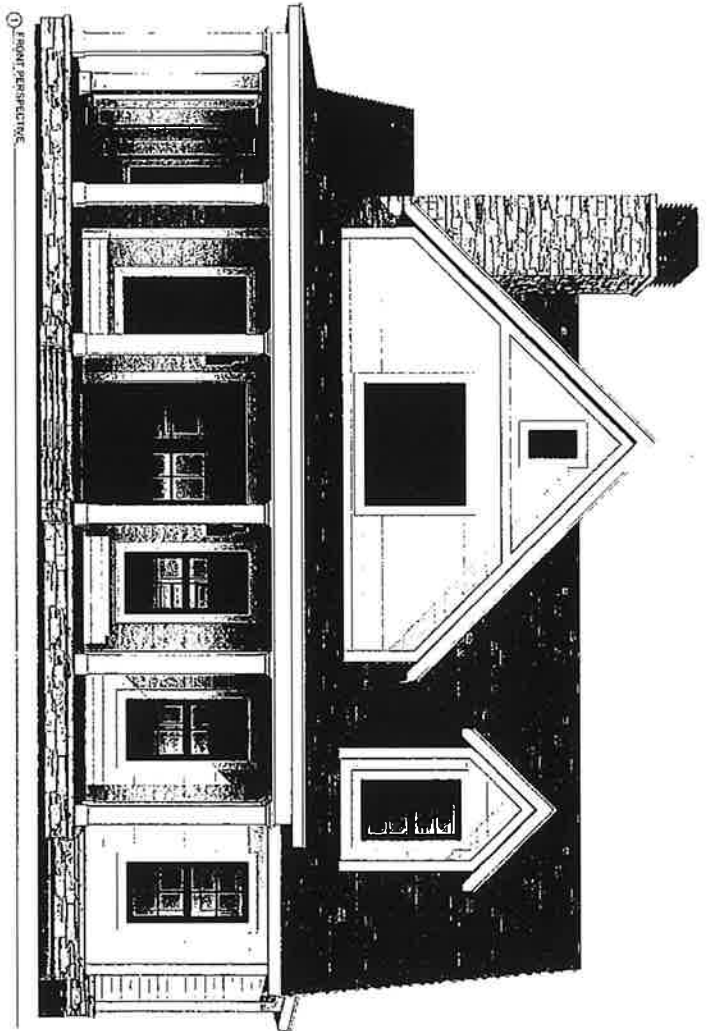
AREA LIVING	
LOCATION	SQ. FT.
1ST FLOOR LIVING	1,540 SF
2ND FLOOR LIVING	44 SF
TOTAL LIVING	2,127 SF

## GENERAL NOTES:

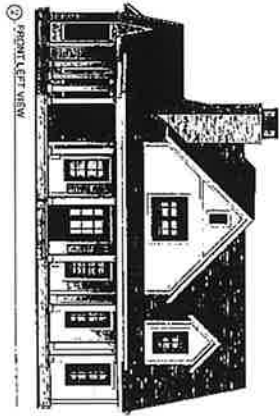
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF GIRFORD BUILDING CODES AND ORDINANCES.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF GIRFORD BUILDING CODES AND ORDINANCES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF GIRFORD BUILDING CODES AND ORDINANCES.
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16. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF GIRFORD BUILDING CODES AND ORDINANCES.



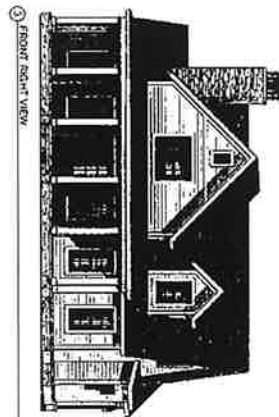




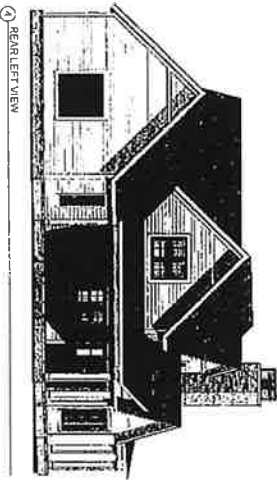
1 FRONT PERSPECTIVE



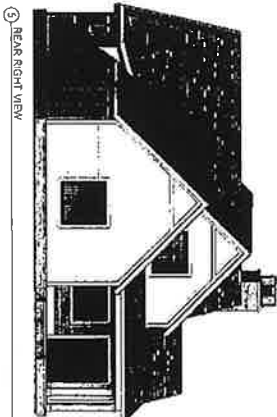
2 FRONT LEFT VIEW



3 FRONT RIGHT VIEW



4 REAR LEFT VIEW



5 REAR RIGHT VIEW











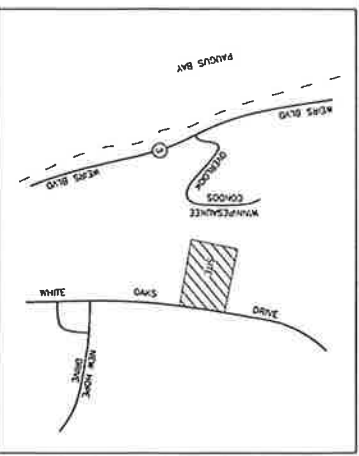
PROPOSED PROPERTY LINE AND EASEMENTS  
ALONG PROPERTY LINE  
WITH LINE OF GREEN GRASS APPEARANCE, TRUSSE  
THE COLORADO SPRING & CANADIAN HILLBOX

GRAPHIC SCALE  
0 50 100  
1 inch = 50 ft.

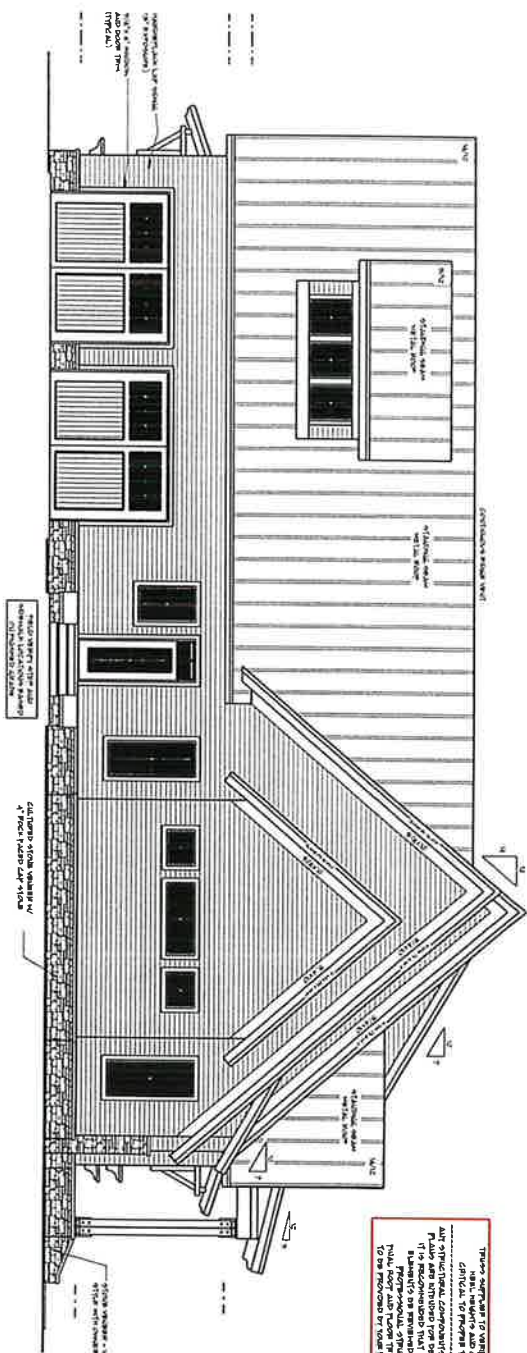
**ZBA PLAN - SINGLE FAMILY**  
**TAX MAP 255 LOT 241-002**  
**230 WHITE OAKS ROAD**  
**LACONIA, NEW HAMPSHIRE 03246**  
OWNER OF RECORD/PREPARED FOR  
SKYVIEW ACRES LLC  
PO BOX 1926  
CONCORD, NEW HAMPSHIRE 03302  
BORD BOOK 3537/PAGE 238  
SCALE 1"=50'  
SHEET 1 OF 1  
SEPTEMBER 18, 2025

**BENCHMARK LLC**  
Creating Expert Land Plans  
30 Main Street, Suite 200  
Concord, NH 03301  
Phone: (603) 911-5020

- NOTES**
1. PURPOSE OF THIS PLAN IS TO SHOW PROPOSED DEVELOPMENT OF THE PROPERTY FOR THE PURPOSE OF OBTAINING A VARIANCE TO ALLOW THE DEVELOPMENT OF 12 LOTS, 2.30 ACRES, 2.30 ACRES, 2.30 ACRES, 2.30 ACRES, 2.30 ACRES, 2.30 ACRES, 2.30 ACRES, 2.30 ACRES, 2.30 ACRES, 2.30 ACRES, 2.30 ACRES, 2.30 ACRES.
  2. ZONING DISTRICTS: R2 & R1
  3. ZONING DISTRICTS: R2 & R1
  4. ZONING DISTRICTS: R2 & R1
  5. ZONING DISTRICTS: R2 & R1
  6. ZONING DISTRICTS: R2 & R1
  7. ZONING DISTRICTS: R2 & R1
  8. ZONING DISTRICTS: R2 & R1
  9. ZONING DISTRICTS: R2 & R1
  10. ZONING DISTRICTS: R2 & R1
  11. ZONING DISTRICTS: R2 & R1
  12. ZONING DISTRICTS: R2 & R1



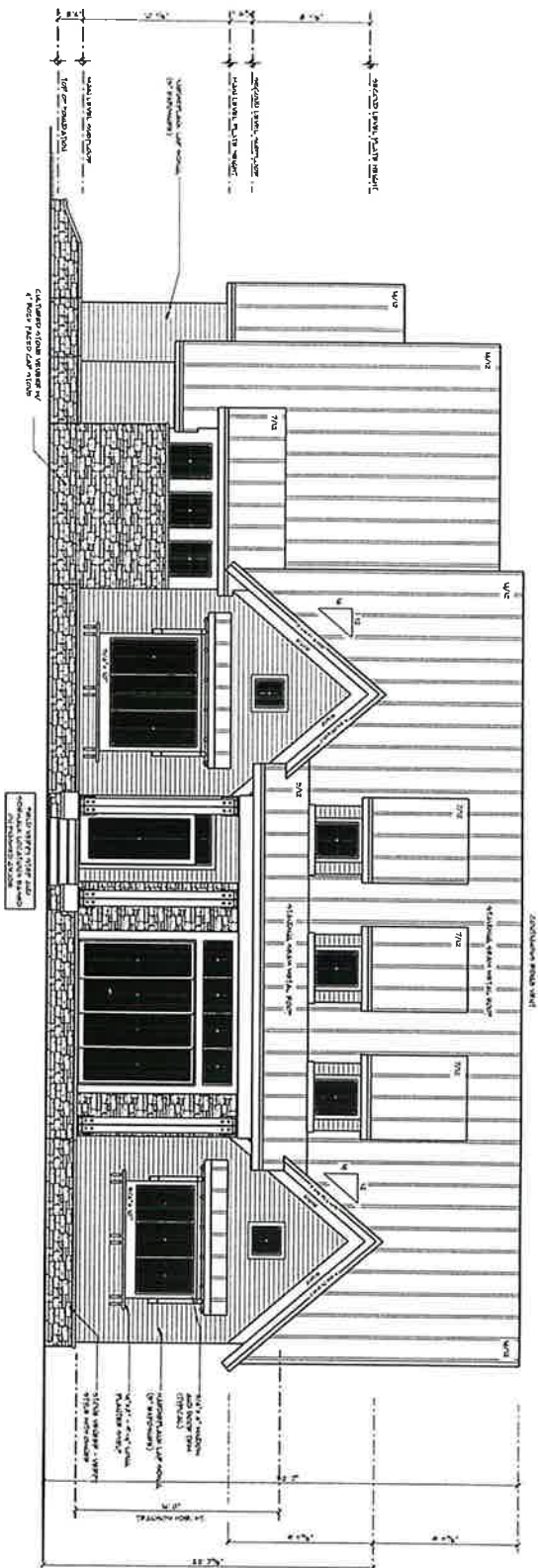




**LEFT ELEVATION**

 $\frac{2}{Al_2}$ 

SCALB: 1/4" = 1' 0"



### FRONT ELEVATION

1  
A1.1

$$SCALEB = 1/4" = 1'0"$$

THOSE SUBJECTS TO WHOM ALL OF THESE PRECIOUS, HEALING, AND OTHER GIFTED CHARACTERS ARE CRITICAL TO PROGRESS THINGS FUNCTIONAL. ANY SPECIFIC TRAIT, COMPONENTS THAT MAY BECOME AN INDIVIDUAL'S WEAKNESS OR STRENGTH. INDIVIDUALS ARE ATTRIBUTED FOR DEVELOPED PERSONALITIES AND IT IS RECOGNIZED THAT ALL SPECIFIC TRAIT, BEING DEVELOPED OR REMOVED BY A LOCAL, LOCALIZED PERSONAL, SPECIFIC TRAIT, ELEMENTS. INDIVIDUALS ARE PLACED THINGS DEVELOPED AND LAY OUT TO BE PROVIDED BY SOME LOCAL, THINGS, SUPPORT.

AREA TABULATION	
LONG LEAVEL	2387 sq
MAIN LEVEL	2387 sq
POSSIBLE ROOM	700 sq
TOTAL FURNISHED	2387 sq
TOTAL UNFURNISHED	700 sq
GRAND TOTAL	3087 sq
PERCENT OF	44.8%
POWELL	44.8%

LOOK AFTER ALL CALCULATED PROBS  
THE OUTSIDE OF PROBABILITY TABLE  
ADD/CHG OUTSIDE PROB. C.  
BETWEEN 4 AND 41 PROBABILITY VALUES  
STAY 49 AFTER CALCULATED IN CALCULATED TABLE  
ST ALL LEVELS 49

### GENERAL NOTES

[illegible]

**EXHIBIT 10**

- some (as noted)
- hardware like screws
  - 5" x 8" x 3/4"
- different type
  - different boards
  - materials and with as noted

+++ STRONG TYPICAL WORKER +++

All affective, social and cognitive areas, personal controls and achievements, responsibility must be provided by a typical worker. Worker based on his/her own controls, understanding, and personal responsibility to develop all responsibility for future typical.

**\*\* FOUNDATION INVESTMENT \*\***  
ALL FUNDING, FOUNDATION,  
PROVIDE, SETS AND  
PROFESSIONAL, NATIONAL,  
PROSTHETIC, TO BE PROVIDED  
ON AFRICAN, TO BE PROVIDED  
ON PRODUCTION CONTRACT  
BASED ON PRODUCTION SETS  
CONTRACTS.

was a global acknowledgment to us more of our place on the planet and modifications.



Original Draft Date  
08/18/2018  
Document Date:  
9/4/2024  
Document Phase:  
Drawn by: *SKO*

ELEVEN

A

**CL-18-012**  
**THE ARIANA MARIE**  
**BASEMENT - 10ft MAIN**  
**2 CAR SIDE - STANDARD**

**ROYAL OAKS**  
DESIGN

031-998-2176  
www.royalshadesign.com  
West Lakeland, MN 55082

[illegible]



238 WHITE OAKS RD

Location 238 WHITE OAKS RD

Mblu 255/ 241/ 2/ /

Acct# 5785

Owner SKYVIEW ACRES LLC

Assessment \$869,300

2845

Building Count 1

Current Value

Assessment			
Valuation Year	Improvements	Land	Total
2024	\$625,300	\$244,000	\$869,300

Owner of Record

Owner SKYVIEW ACRES LLC

Co-Owner

Address PO BOX 1926  
CONCORD, NH 03302

Sale Price \$1,225,000

Book & Page 3637/0238

Sale Date 08/19/2024

Instrument 00

Ownership History

Ownership History				
Owner	Sale Price	Book & Page	Instrument	Sale Date
SKYVIEW ACRES LLC	\$1,225,000	3637/0238	00	08/19/2024
TOUART DOROTHY IRWIN THE TRUST	\$4,000	1489/0845	1F	09/17/1998
TOUART DOROTHY I	\$0	/0		09/17/1998

Building Information

Building 1 : Section 1

Year Built: 1905

Living Area: 4,762

Building Attributes	
Field	Description
Style:	Colonial
Model	Residential
Grade:	Good



Stories:	2 Stories
Occupancy	1
Exterior Wall 1	Clapboard
Exterior Wall 2	
Roof Structure:	Gambrel
Roof Cover	Asph/F Gls/Cmp
Interior Wall 1	Plastered
Interior Wall 2	Drywall/Sheet
Interior Flr 1	Hardwood
Interior Flr 2	
Heat Fuel	Oil
Heat Type:	Hot Water
AC Type:	None
Total Bedrooms:	5 Bedrooms
Total Bthrms:	3
Total Half Baths:	1
Total Xtra Fixtrs:	
Total Rooms:	11 Rooms
Bath Style:	Average
Kitchen Style:	Average
Num Kitchens	01
Cndtn	
Num Park	
Fireplaces	
Fndtn Cndtn	
Basement	
Usrflid 706	

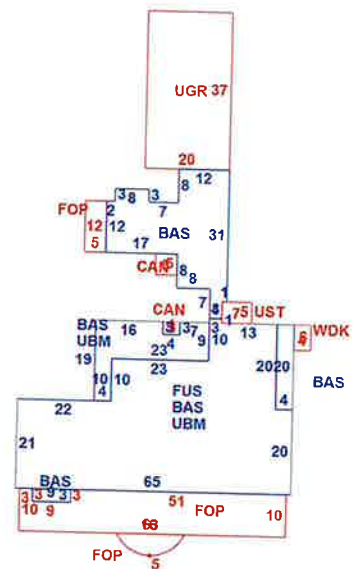
## Building Photo



([https://images.vgsi.com/photos/LaconiaNHPhotos/\0020\5785\\_20625.jpg](https://images.vgsi.com/photos/LaconiaNHPhotos/\0020\5785_20625.jpg))

## Building Layout

UAT  
(444 sf)



(ParcelSketch.ashx?pid=2845&bid=3270)

Building Sub-Areas (sq ft)			Legend	
Code	Description	Gross Area	Living Area	
BAS	First Floor	2,864	2,864	
FUS	Upper Story, Finished	1,898	1,898	
CAN	Canopy	37	0	
FOP	Porch, Open, Finished	720	0	
UAT	Attic, Unfinished	444	0	
UBM	Basement, Unfinished	2,169	0	
UGR	Garage, Unfinished	740	0	
UST	Utility, Storage, Unfinished	35	0	
WDK	Deck, Wood	24	0	
		8,931	4,762	



Extra Features

Extra Features				Legend
Code	Description	Size	Bldg #	
FPL	FIREPLACE	3.00 UNITS	1	

Land

Land Use

Use Code 1010  
Description SINGLE FAM MDL-01  
Zone RR2  
Neighborhood AVERAGE  
No

Land Line Valuation

Size (Acres) 10.63  
Frontage 0  
Depth 0  
Assessed Value \$244,000

Category

Outbuildings

Outbuildings	Legend
No Data for Outbuildings	

Valuation History

Assessment			
Valuation Year	Improvements	Land	Total
2024	\$625,300	\$244,000	\$869,300
2023	\$602,300	\$228,200	\$830,500
2022	\$443,500	\$193,600	\$637,100





September 26, 2025

John Cronin, Esquire  
722 Chestnut Street  
Manchester, NH 03104

Re: 238 White Oaks Road  
Laconia NH 03087  
Owners: Skyview Acres LLC

Dear Attorney Cronin:

In accordance with your request, I have viewed the subject site which currently has a single-family residence on 10.63 acres. From my review of the Zoning Board of Adjustment Variance Application dated 9/24/2025, it is my understanding that the applicant is seeking approval to build a residential development of 12 single family homes. The subject property is in a residential zone.

You have asked me to evaluate the proposed development in relation to residential properties in the immediately surrounding area to provide an opinion as to whether the completion of the proposed project would have any negative impact on the values of abutting and nearby residential properties. The immediate vicinity where the subject property is located is residential in nature and consists primarily of single-family homes of diverse sizes and styles. However, there are also townhouse style condominiums and there is or was a motorcycle club along White Oaks Road.

This is a consulting assignment. The intended use of this report is to provide information to the client regarding the applications for variances and special exceptions in the effort to receive approval from the City of Laconia Zoning Board of Adjustment for the proposed project. The intended users of this report are the owners, Skyview Acres LLC, agent Attorney John Cronin, as well as the City of Laconia Zoning Board of Adjustment.

I have visited the subject site and driven through the streets of the immediately surrounding area. It is my understanding that, as part of the design, an ample buffer of trees will be left on the sides and rear of the property. A review of the proposed plan shows that density has been substantially reduced from the original proposal to now only include 12 single family detached units.

In order to provide an opinion relative to the possible impact the proposed project might have on the values of surrounding residential properties, I researched areas where more densely populated residential developments of single-family homes (as well as condominium complexes) existed near single family detached homes. I viewed sales of homes near these existing developments and complexes and compared them to sales of similar homes that are distant from such developments. Not in any of these cases did I find that the presence of a well-planned cluster development or condominium development had any negative impact on the market values of surrounding properties.

As noted above, there are already more densely populated developments along White Oaks Road in the form of several condominium complexes.



In summary, I visited the property at 238 White Oaks Road, Laconia, NH and drove through the streets in the surrounding area. I viewed other housing projects in the region in relation to residential homes in those immediate areas. Based on my 37 years of experience as a residential appraiser in New Hampshire, coupled with my education and training, my personal inspection of the subject property and surrounding areas, and a review of residential properties in close proximity to similar housing projects, it is my opinion that the proposed use for 238 White Oaks Road, Laconia, NH will not diminish the value of surrounding residential properties.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read "Mark H. McKeon", written in a cursive style.

Mark H. McKeon, President  
NHCR-03



Mr. A. Bonamo and Mrs. E. Funnell  
60 White Oaks Road, Unit 20  
Laconia, NH 03246  
Tel: (973)-978-3113  
Email: [abonamo@yahoo.com](mailto:abonamo@yahoo.com)

**Sent by Email Only**

City of Laconia Planning Department  
Zoning Board  
45 Beacon Street East  
Laconia, NH 03246  
[planning@laconianh.gov](mailto:planning@laconianh.gov)

November 14, 2025

**Re: 238 White Oaks Road, Laconia, NH 03246, Application No. ZB2026-018**

Dear Board Members,

We submit the following in support of the above referenced application submitted by Skyview Acres, LLC. We had hoped to be able to attend the meeting on November 17, 2025 in person to express our strong support for same, but unfortunately we are unable to be present on said date. We had, in fact attended the prior meeting on October 20, 2025 in person, but appreciate that the matter was continued to the next meeting.

While we fully understand people's hesitation and concerns when it comes to the words "development" and "developers", we do not believe that the Board and the City of Laconia should shy away from it in this instance. Development is inevitable and we need to focus on the positivity it brings to the area and ensure that it is performed properly and to the highest standard.

As a couple who previously lived in Gilford, it took us over three and a half years to find a home that we liked in this area. We looked in Gilford, Meredith, Alton and Laconia. We viewed numerous developments and homes, but there was nothing we liked until we found a unit built by Mr. Grenier's company. Throughout the entire process, Mr. Grenier and the other owners of the development, including Mr. Dionne, have stood by every word they have said. Their standard of work far exceeds that of any other developer in the area and they take great care and pride in everything they do. Of significance, our development is still being completed and we can attest that Mr. Grenier is present each and every day overseeing matters and ensuring that there are no issues. There is also no time of day that we are unable to speak with Mr. Dionne and he has turned up at 9.00 p.m. on a Friday night to address what was then a minor issue. We highlight this as it is important for the City of Laconia and the residents of White Oaks Road to hear how much these developers care.

We can also attest to conversations with our neighbor who lives on the plot of land next to our unit and without any solicitation, the neighbor stated that he had many conversations with



Mr. Grenier throughout the entire process of the building of our development and he also only had positive words to say about these developers.

It is clear that the spirit of the community is important to residents on White Oaks Road, and that is what is key here. These developers are local to the area and truly care not only about the area, but also the people in it. I would urge not only the Board, but also any individual who opposes this development to consider the ramifications of obstructing this development. The City of Laconia and the residents of White Oaks Road should relish the opportunity to be able to work alongside these developers and embrace the beautiful homes they produce in a professional and community-friendly manner. We have no doubt that they will do everything possible to bring the positive elements and benefits of development to this area.

The application for just 12 single-family units will have no effect on the aesthetics, character, or spirit of White Oaks Road. Rather, the homes will enhance the area and allow the City of Laconia to continue its gentrification – something we should all embrace.

Thank you for your consideration and should you require any additional information, please feel free to contact us.

Kind regards,

*/s/ Alex Bonamo*

*/s/ Emma Funnell*

Alex Bonamo and Emma Funnell





**CITY OF LACONIA**  
**DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT**  
45 Beacon Street East  
Laconia, NH 03246  
Phone: (603) 527-1264  
Fax: (603) 524-2167  
Email: [Planning@Laconianh.gov](mailto:Planning@Laconianh.gov)



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## **NOTICE OF PUBLIC HEARING**

You are hereby notified of the following application to be submitted to the Laconia Zoning Board of Adjustment at its next meeting. A public hearing for each of these applications may be held following presentations by the applicants. During the public hearings, the Public may provide input on the applications. After a public hearing, the Board may deliberate and act on each application. Notification of this hearing is being made in accordance with RSA 676:7.

The application, plans, and details will be posted online at [www.laconianh.gov](http://www.laconianh.gov) prior to the meeting. These same documents are also available for review at the Department of Planning and Community Development at the Laconia City Hall during regular office hours. Written comments may be submitted to the Board prior to the hearing via the email and physical addresses above. This is a public meeting, and you are invited to attend.

## **MEETING INFORMATION**

**Date:** MONDAY OCTOBER 20TH, 2025

**Time:** 6:30PM

**Location:** CITY HALL, 45 BEACON STREET EAST, ROOM 200A

## **SUMMARY OF APPLICATION #ZB2026-018 VAR**

**Owner(s) of Record:** SKYVIEW ACRES LLC

**Applicant(s):** SKYVIEW ACRES LLC

**Parcel Address:** 238 WHITE OAKS RD

**Parcel ID:** 255/24/2

**Zoning District:** RR2 RESIDENTIAL RURAL 2

**Ordinance Cited:** §235-25 USES PERMITTED BY RIGHT, 235 ATTACHMENT 2 TABLE OF DIMENSIONALL REGULATIONS & § 235-17 WETLANDS CONSERVATION AND WATER QAULITY OVERLAY.

**Proposal:** The applicant is seeking a variance from §235-25 Uses Permitted by Right ,235 Attachment 2 table of dimensional regulations, 235-17 Wetlands conservation and water quality overlay to allow for 12 single family residences.





RECEIVED

DEC 17 2025

City of Laconia  
Planning & ZoningApplication #:  
Fees Paid:  
Check #:  
Receipt #:ZB2026-028  
\$125.00  
849  
711149ZONING BOARD OF ADJUSTMENT  
MOTION FOR REHEARING

Name of Applicant SCOTT BERRY + PATRICIA MARCHETTI  
Mailing Address P.O. Box 5243, LACONIA NH 03247  
Owner (If same as applicant, write "same"): WEBRON LLC (SAME PEOPLE AS ABOVE)  
Mailing Address: SAME  
Tax Map Lot # (s): 278-28 Zoning District (s): CR/PR1  
Street Address: 43 White Oaks Rd, LACONIA NH 03246

## OWNER AUTHORIZATIONS &amp; STATEMENTS OF ASSURANCE:

I hereby make application to the City of Laconia for the above-referenced property (ies) and the development as described. To the best of my knowledge the information provided herein is accurate and is in accordance with the Zoning Ordinance and land use regulations of the City, except where waivers are requested. The City of Laconia Zoning Board and/or city employees are authorized to enter the property (ies) for purposes of reviewing this proposal and for inspecting improvements as a result of an approval of this proposal. I understand that I am responsible for appearing, or having someone appear on my behalf, at any and all meetings before the Zoning Board.

Sign as appropriate (If agent or non-person please attach certification)

NOTE: Please attach an Applicant Contact Worksheet

## PROPERTY OWNER(S)

SCOTT BERRY + PATRICIA MARCHETTIPrinted Name Here Webron LLC.

Signature of Property Owner(s)

12.17.25

Date

## AGENT(S)

Printed Name Here

Signature of Agent(s)

Date

Rehearing Request for Application #: ZB2026-022

As provided for by RSA 677:2, any party to the action or any person directly affected thereby may move for a rehearing in respect to any matter determined in the decision and must specify such grounds in the motion for rehearing. The Zoning Board of Adjustment may grant a rehearing if, in the opinion of the Board, there is sufficient reason presented in the applicant's motion for rehearing.

SUBMIT RESPONSE IN ACCORDANCE ARTICLE XI SECTION 235-69 C (7) AND RSA 677:2

DUE AT SUBMISSION

10 COPIES OF ENTIRE ZONING BOARD APPLICATION WITH REQUIRED ATTACHMENTS



**Scott Berry-Patricia Marchetti / Webron LLC**  
**43 White Oaks Rd**  
**Laconia NH 03246**  
**603-289-4515 & 339-222-0471 Trish@HousesByTrish.com**  
**December 17, 2025**

**Zoning Board of Adjustment**

Dear Members of the Zoning Board,

I am writing regarding **Application #ZB2026-022** as an abutter to the subject property located at 33 White Oaks Rd, Laconia. We are concerned about the variance that was granted on November 17<sup>th</sup>, 2025 and the impact it will have on our property.

The approved variance allows for the construction of three additional homes (refer to house lot 6 on the map) to be built significantly closer to our property boundary line. This approval directly affects our property's privacy and may negatively impact its value and overall enjoyment.

Due to an incorrect mailing address on file with the Assessor's Office, we did not receive notice of the meeting and were therefore unable to attend or voice our concerns prior to the variance being granted.

While we understand and respect our neighbor's desire to develop their property, it is equally important to consider the rights and impacts on surrounding abutters. In this case, the granted variance creates a substantial and lasting effect on our property.

For these reasons, we respectfully request that the Board reconsider the decision regarding this variance so that exhibit A is allowed and exhibit B is not granted.

Thank you for your time and consideration. We appreciate the Board's attention to this matter and the opportunity to be heard.

Respectfully,

Scott Berry and Patricia Marchetti





RECEIVED

OCT 24 2025

City of Laconia  
Planning/Zoning

Application #:  
Fees Paid:  
Check #:  
Receipt #:

282026-022  
\$ 205.00  
53247

**ZONING BOARD OF ADJUSTMENT  
VARIANCE APPLICATION**

Name of Applicant: Scott Buonopane  
Mailing Address: 217 Middlesex Turnpike, Burlington, Massachusetts  
Owner (If same as applicant, write "same"): Daniel A. Greenhalgh  
Mailing Address: 18 Tenney Road, Pelham, NH, 03076  
Tax Map/ Lot # (s): 278/241/29 Zoning District (s): CR / RR-1  
Street Address: 33 White Oaks Road

**OWNER AUTHORIZATIONS & STATEMENTS OF ASSURANCE:**

I hereby make application to the City of Laconia for the above-referenced property (ies) and the development as described. To the best of my knowledge the information provided herein is accurate and is in accordance with the Zoning Ordinance and land use regulations of the City, except where waivers are requested. The City of Laconia Zoning Board and/or city employees are authorized to enter the property (ies) for purposes of reviewing this proposal and for inspecting improvements as a result of an approval of this proposal. I understand that I am responsible for appearing, or having someone appear on my behalf, at any and all meetings before the Zoning Board.

Sign as appropriate (If agent or non-person please attach certification)

NOTE: Please attach an Applicant Contact Worksheet

PROPERTY OWNER(S)

Daniel Greenhalgh

Printed Name Here

\_\_\_\_\_  
Signature of Property Owner(s)

\_\_\_\_\_  
Date

AGENT(S)

Ari B. Pollack, Esq.

Printed Name Here

CB.  
Signature of Agent(s)

10.23.25  
Date

NOTE: This application is not acceptable unless all required statements have been made. Additional information may be supplied on a separate sheet if the space provided is inadequate.

**REQUIRED ATTACHMENTS:**

- Abutters List (from <https://www.axisgis.com/LaconiaNH/>)
- Envelopes and Certified Mail Receipts (Filled out for all abutters)
- Plot Plan (Showing dimensions of proposed building, setback requirements, and encroachments into any setbacks.)

**DUE AT SUBMISSION:**

**10 COPIES OF ENTIRE ZONING BOARD APPLICATION WITH REQUIRED ATTACHMENTS**



A variance is requested from article 235 section 15.C(2) of the Zoning Ordinance to permit Application of the CR District dimensional requirements for a distance of 500' from the District boundary whereas 100' is otherwise allowed (See, Exhibits A and B)

Facts in support of granting the Variance:

1. Granting the variance would not be contrary to the public interest because:

The majority of the buildable areas are located in the CR District and the surrounding areas are buffered by undevelopable wetlands.

2. If the variance were granted, the spirit of the ordinance would be observed because:

The majority of the buildable lot area is located in the CR District, which allows for higher density.

3. Granting the variance would do substantial justice because:

The resultant development will be cohesive and apply one set of standards versus a disjointed layout separated by an arbitrary zoning divide.

4. If the variance were granted, the values of the surrounding properties would not be diminished because:

The majority of the site will be single family homes built per CR District requirements, and match surrounding properties.

5. Unnecessary Hardship

a. Owing to special conditions of the property that distinguish it from other properties in the area, denial of the variance would result in unnecessary hardship because:

i. No fair and substantial relationship exists between the general public purposes of the ordinance provision and the specific application of that provision to the property because:

The 100' extension provision sets an arbitrary measurement which, as applied, awkwardly divides the subject parcel and would result in two different development programs on a single lot.

ii. The proposed use is a reasonable one because:

The effect of the variance would be having one set of restrictions apply to all of the buildable land as opposed to two different standards applying uniformly across the parcel.

-or-

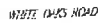
b. If the criteria in subparagraph (a) are not established, an unnecessary hardship will be deemed to exist if, and only if, owing to special conditions of the property that distinguish it from other properties in the area, the property cannot be reasonably used in strict conformance with the ordinance, and a variance is therefore necessary to enable a reasonable use of it.

The subject property is distinguishable by size and having an area orphaned between the CR District and undevelopable wetlands. A variance is necessary to establish a uniform set of restrictions that would apply to the whole development and produce a typical residential development.



33 WHITE OAKS RD  
LACONIA, NEW HAMPSHIRE

**DATA**  
 CALLING: 1-800-272-2727  
 ADDRESS: 4000 W. 10TH AVE.



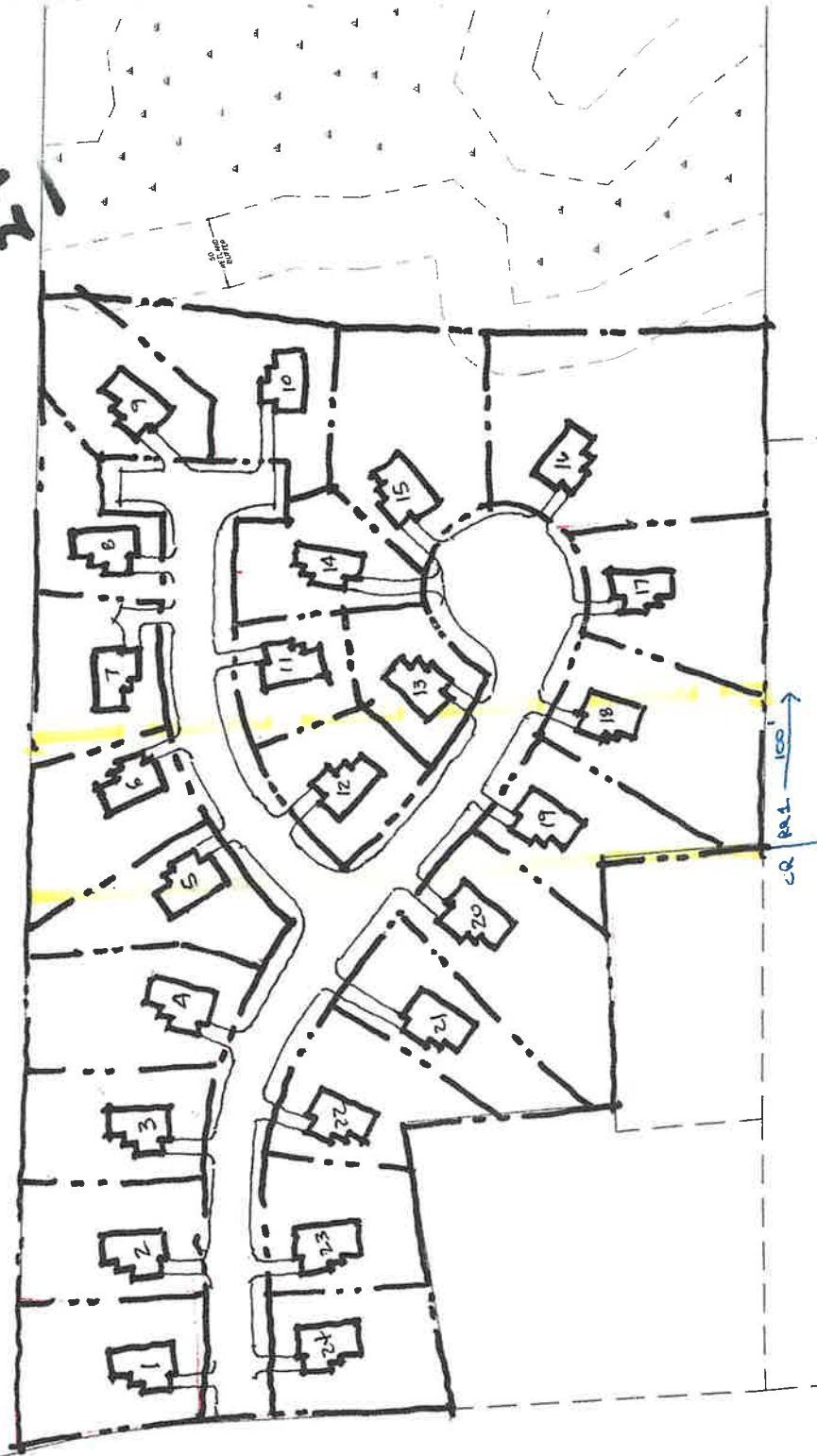
Emp 2578-0270-04071

**Tighe & Bond**  
177 Corporate Drive  
Portsmouth, NH 03801  
(603) 433-8818



33 WHITE OAKS RD  
LACONIA, NEW HAMPSHIRE

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**Tighe & Bond**  
177 Corporate Drive  
Portsmouth, NH 03801  
(603) 433-8818

## CONCEPTUAL SITE PLAN 1