

City of Laconia
Zoning Board of Adjustment
Tuesday, January 20, 2026 - 6:30 PM
City Hall in the Armand A. Bolduc City Council Chamber

1. CALL TO ORDER
2. ROLL CALL
3. RECORDING SECRETARY
4. STAFF IN ATTENDANCE
5. ACCEPTANCE OF MINUTES FROM PREVIOUS MEETINGS
6. EXTENSIONS
7. CONTINUED PUBLIC HEARINGS, CONSIDERATION AND POSSIBLE VOTE Note: The Purpose Of This Agenda Section Is For The Board To Continue The Public Hearing For The Applicant And The Public To Provide Input. The Board May Also Deliberate The Application, Decide And Conduct A Final Vote At This Time.
8. PUBLIC HEARINGS, POSSIBLE CONSIDERATION AND VOTE Note: The Purpose Of This Agenda Section Is For The Board To Have A Presentation From The Applicant And Open A Public Hearing For The Public To Provide Input. The Board May Also Deliberate The Application, Decide And Conduct A Final Vote At This Time.

8.I. ZB2026-026; 122 Paugus Park Rd (287-178-7)

The applicant is seeking a variance to permit the relief from the 70% required green space in order to construct additions on both sides of the house.

Documents:

[APPLICATION.PDF](#)
[SITE PLANS.PDF](#)
[INTERNAL PRINTS.PDF](#)
[IMAGES.PDF](#)

8.II. ZB2026-027; 15 Doe Ave (145-64-4)

The applicant is seeking a variance to allow 5' setback on the west side property line.

Documents:

[APPLICATION.PDF](#)
[SURVEY.PDF](#)

8.III. ZB2026-029; 17 Wentworth Cove Rd (255-241-2)

The applicant is seeking a variance to permit the encroachment of 81 sq ft of a raised deck into the 50' setback from Lake Winnipesaukee.

Documents:

[APPLICATION.PDF](#)
[SITE PLANS.PDF](#)

8.IV. ZB2026-030; 238 White Oaks Rd (167-269-1)

The applicant is seeking a Special Exception to allow for the use of a campground in the RR1 and RR2 Districts.

Documents:

[APPLICATION.PDF](#)
[NARRATIVE.PDF](#)
[BUILDING PLANS.PDF](#)
[IMAGE.PDF](#)
[PROPERTY CARD.PDF](#)
[WHITE OAKS UPDATED APPRAISER OPINION.PDF](#)
[LETTER IN SUPPORT OF APPLICATION ZB2026-018 11.14.25.PDF](#)
[WOR PG 1.PDF](#)

9. OTHER BUSINESS

9.I. ZB2026-028; 33 White Oaks Rd (278-241-29)

The applicant is requesting a rehearing of application ZB2025-022 in accordance with RSA 677.

ZB2025-22: This application was approved by the Zoning Board on November 17, 2025. The applicant was granted a variance from Article 235 15 C (2) Application of the CR district dimensional requirements for a distance of 500' from the district boundary whereas 100' is otherwise allowed.

Documents:

[MOTION FOR REHEARING.PDF](#)

10. ADJOURNMENT

This meeting facility is ADA accessible. Any person with a disability who wishes to attend this public meeting and needs additional accommodations, please contact the department at (603) 527-1264 at least 72 hours in advance so necessary arrangements can be made.



Application #: ZB2020-026
 Fees Paid: \$175.00
 Check #: 24083
 Receipt #:

ZONING BOARD OF ADJUSTMENT VARIANCE APPLICATION

Name of Applicant: Marie C. McKay Revocable Trust

Mailing Address: 15 Back Road, Chichester, NH 03258

Owner (If same as applicant, write "same"): Same

Mailing Address: Same

Tax Map/ Lot # (s): Tax Map 287, Lot 178-7 Zoning District (s): RS w/ Shoreland Overlay

Street Address: 122 Paugus Park Road, Laconia NH 03247

OWNER AUTHORIZATIONS & STATEMENTS OF ASSURANCE:

I hereby make application to the City of Laconia for the above-referenced property (ies) and the development as described. To the best of my knowledge the information provided herein is accurate and is in accordance with the Zoning Ordinance and land use regulations of the City, except where waivers are requested. The City of Laconia Zoning Board and/or city employees are authorized to enter the property (ies) for purposes of reviewing this proposal and for inspecting improvements as a result of an approval of this proposal. I understand that I am responsible for appearing, or having someone appear on my behalf, at any and all meetings before the Zoning Board.

Sign as appropriate (If agent or non-person please attach certification)

NOTE: Please attach an Applicant Contact Worksheet

PROPERTY OWNER(S)

Marie McKay

Printed Name Here

Signed by:

Marie McKay

Signature of Property Owner(s)

11/14/2025

Date

AGENT(S)

Joseph Berry

Printed Name Here

Joseph Berry

Signature of Agent(s)

12-10-25

Date

NOTE: This application is not acceptable unless all required statements have been made. Additional information may be supplied on a separate sheet if the space provided is inadequate.

REQUIRED ATTACHMENTS:

- Abutters List (from <https://www.axisgis.com/LaconiaNH/>)
- Envelopes and Certified Mail Receipts (Filled out for all abutters)
- Plot Plan (Showing dimensions of proposed building, setback requirements, and encroachments into any setbacks.)

235-19 (F) (2) (d)

A variance is requested from article IV section of the Zoning Ordinance to permit the relief from the 70% required green space in order to construct additions on both side of the house.

Facts in support of granting the Variance:

1. Granting the variance would not be contrary to the public interest because:

See attached narrative

2. If the variance were granted, the spirit of the ordinance would be observed because:

See attached narrative

3. Granting the variance would do substantial justice because:

See attached narrative

4. If the variance were granted, the values of the surrounding properties would not be diminished because:

See attached narrative

5. Unnecessary Hardship

a. Owing to special conditions of the property that distinguish it from other properties in the area, denial of the variance would result in unnecessary hardship because:

i. No fair and substantial relationship exists between the general public purposes of the ordinance provision and the specific application of that provision to the property because:

See attached narrative

ii. The proposed use is a reasonable one because:

See attached narrative

-or-

b. If the criteria in subparagraph (a) are not established, an unnecessary hardship will be deemed to exist if, and only if, owing to special conditions of the property that distinguish it from other properties in the area, the property cannot be reasonably used in strict conformance with the ordinance, and a variance is therefore necessary to enable a reasonable use of it.

See attached narrative



BERRY SURVEYING & ENGINEERING

335 Second Crown Point Road
Barrington, NH 03825
Phone: (603) 332-2863
Fax: (603) 335-4623
www.BerrySurveying.Com

September 25, 2025

Laconia Zoning Board of Adjustment
45 Beacon Street E
Laconia, NH 03246

RE: Marie C. McKay Revocable Trust
Variance Request
Article IV, Section 235-19(F)(2)(d)
Tax Map 287, Lot 178-7
122 Paugus Park Road

Chair Person and Members of the Laconia Zoning Board of Adjustment,

On behalf of the Marie C. McKay Revocable Trust, Berry Surveying & Engineering (BS&E) is submitting a variance request for your review regarding Article IV, Section 235-19(F)(2)(d). Specifically, the applicant is seeking relief from the 70% green space requirement to allow for the construction of an addition to the existing home.

BS&E has conducted a complete boundary and existing conditions plan in preparation for this request as well as a request to New Hampshire Department of Environmental Services (NHDES) Shoreland Program. Please find the Existing Conditions Plan, and Proposed Conditions Plan and construction details.

The parcel consists of an existing non-conforming single-family home on an existing non-conforming lot. The existing parcel contains 60.75' of frontage and 0.25± acres of land.

The proposal involves constructing an addition and a covered porch on the westerly and southerly sides of the home, generally the front, and away from the water. The proposed addition will comply with all required NHDES & City setbacks.

As part of the project, the applicant is also proposing stormwater management improvements that meet NHDES Shoreland and local stormwater standards. These measures are designed to improve lake water quality. Specifically, all roof runoff from the south side of the house will be collected and directed into a dry well located at the southeast rear corner of the home.

Currently, the site includes a paved driveway extending from Paugus Park Road to the house. The proposal includes replacing this with porous pavement from the property boundary to the garage. This modification will reduce the impervious surface area and allow for infiltration of driveway runoff. Overall, the project will result in a 3.33% reduction in direct impervious surface coverage, and reduces the effective impervious coverage (EIC) by a considerable amount more.

1. Article IV, Section 235-19(F)(2)(d). – relief from the 70% green space requirement

To the merits of the five statutory criteria for the Zoning Board to grant a variance we offer the following:

1. "Granting of the variance would not be contrary to the public interest."

- The public interest, with respect to this section is to ensure there is a balance of development on project sites with the retainage of vegetation. The fundamental purpose of this within the location is to ensure water quality to lake is maintained from project sites. However, in this case, as noted above, the green space is being replaced with other porous technology, and therefore there is no degradation in the stormwater running to the lake. With the approval of the variance, there will be no notable difference in this property upon completion and will be more conforming with others on the street. For this reason, there will be no change in the essential character of the neighborhood.

2. "Granting the variance would be consistent with the spirit of the Ordinance."

- Much like the public interest, the spirit of the ordinance is to ensure proper development of properties along the lake. As noted above, though the green space is being reduced, the impervious surface is also being reduced by an innovative technology. Additionally, the runoff from the addition on the home is being captured and sent to an infiltration device, further improving stormwater on the site. Due to all of the benefits, the health, welfare and safety of the public is met with regards to the spirit of the green space requirements.

3. "Granting of the variance would do substantial justice."

- The benefit to the applicant far outweighs any potential detriment to the ordinance by allowing the applicant to expand while improving stormwater on site, which is the underlying purpose of the green space requirement. The site's stormwater quality is improved with the implementation of Low Impact Development (LID) devices, which is in line with the local stormwater ordinances and with the NHDES Shoreland program.

4. "Granting the variance will not result in diminution of surrounding property values."

- The surrounding properties will not be diminished in value by the construction of the addition on the single-family home in a single family neighborhood. In fact, it will bring the current home closer to conforming with the sizing currently found on the street and therefore will help raise abutting values.

5. "Special conditions exist such that literal enforcement of the Ordinance will result in unnecessary hardship to the applicant as defined under applicable law."

- In this case the special condition of this parcel is its non-conforming lot size when compared to the impervious foot print – green space foot print, when compared to others in the area. There is no reasonable alternative to this addition, when compared to the other surrounding uses, while considering the vast stormwater management improvement proposed despite the redevelopment. Therefore,



denial will cause an unnecessary hardship to the applicant. Though non-conformity in size is not special to the subject lot, the general size of the lot and the dimensions of the home are when compared to the abutting lots to the east and west.

- The use is reasonable when compared to others in the area. The home is currently multiple hundred square feet smaller than the closest abutters. Each of the abutting lots have non-conformity in structure or impervious foot print which make this proposal as reasonable, if not more so, than the other like uses in the area.

Please let us know if you have further questions.

BERRY SURVEYING & ENGINEERING

Christopher R. Berry – Project Manager
Principal, President



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335 Second Crown Pt. Rd., Barrington, NH 03825
(603) 332-2863 / (603) 335-4623 FAX
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September 16, 2025

Re: Letter of Authorization
Marie C. McKay Revocable Trust
Variance request
122 Paugus Park Road

To whom it may concern:

We, the owners of Tax Map 287, Lot 178-7 authorize any member of Berry Surveying & Engineering to represent us as the agents for a project located in Laconia, NH on Paugus Park Road for the purpose of lot development. This includes any and all local, state and federal approvals needed for final approval of the project.

Signed by:
Marie McKay
Owner

11/14/2025

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335 Second Crown Point Road
Barrington, NH 03825
Phone: (603) 332-2863
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December 10, 2025

Abutters List

Owner of Record

Tax Map 287, Lot 178-7

Marie C McKay Rev Trust
Marie C McKay Trustee
15 Back Rd
Chichester, NH 03258
Book 2818, Page 966

Abutters

Tax Map 287, Lot 178-6

Antonius T & Karen M Bentlage
118 Paugus Park Rd
Laconia, NH 03246
Book 3286, Page 986

Tax Map 287, Lot 178-8

Maria E Cantor Trust
Maria E Cantor Trustee
128 Paugus Park Rd
Laconia, NH 03246
Book 3560, Page 353

Professionals

Kenneth A. Berry, PE
Christopher R. Berry, LLS
Berry Surveying & Engineering
335 Second Crown Point Road
Barrington, NH 03825



DEPARTMENT OF PLANNING, ZONING & CODE
45 BEACON STREET, EAST
603-527-1264
603-524-2164

APPLICANT CONTACT SHEET

Application Type: Variance Application #: _____

Name of Applicant: Marie C. Mckay Revocable Trust

Mailing Address: 15 Back Road, Chichester, NH 03258

Phone: 603-493-2417 E-mail: mckay.m@comcast.net

Name of Agent: Joseph Berry or any member of Berry Surveying & Engineering

Mailing Address: 335 Second Crown Point Road, Barrington, NH 03825

Phone: 603-332-2863 E-mail: joeberry@berrysurveying.com

Property Owner 1: Same as applicant

Mailing Address: _____

Phone: _____ E-mail: _____

Property Owner 2: Same as applicant

Mailing Address: _____

Phone: _____ E-mail: _____

Emergency Contact Person: Joseph Berry Phone: 603-332-2863

#1



#3



#2



#4



PROJECT PHOTOS
MARIE C. MCKAY
122 PAUGUS PARK ROAD
LACONIA, N.H.
TAX MAP 287, LOT 178, SUB 7

BERRY SURVEYING
& ENGINEERING

335 SECOND CROWN POINT RD.
BARRINGTON, N.H. 332-2863

SCALE : NONE

DATE : SEPTEMBER 16, 2025

FILE NO. : DB 2024-143

#5



#7



#6



#8



PROJECT PHOTOS
MARIE C. MCKAY
122 PAUGUS PARK ROAD
LACONIA, N.H.
TAX MAP 287, LOT 178, SUB 7

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& ENGINEERING

335 SECOND CROWN POINT RD.
BARRINGTON, N.H. 332-2863

SCALE : NONE

DATE : SEPTEMBER 16, 2025

FILE NO. : DB 2024-143

#9



#11



#10



PROJECT PHOTOS
MARIE C. MCKAY
122 PAUGUS PARK ROAD
LACONIA, N.H.
TAX MAP 287, LOT 178, SUB 7

BERRY SURVEYING
& ENGINEERING

335 SECOND CROWN POINT RD.
BARRINGTON, N.H. 332-2863

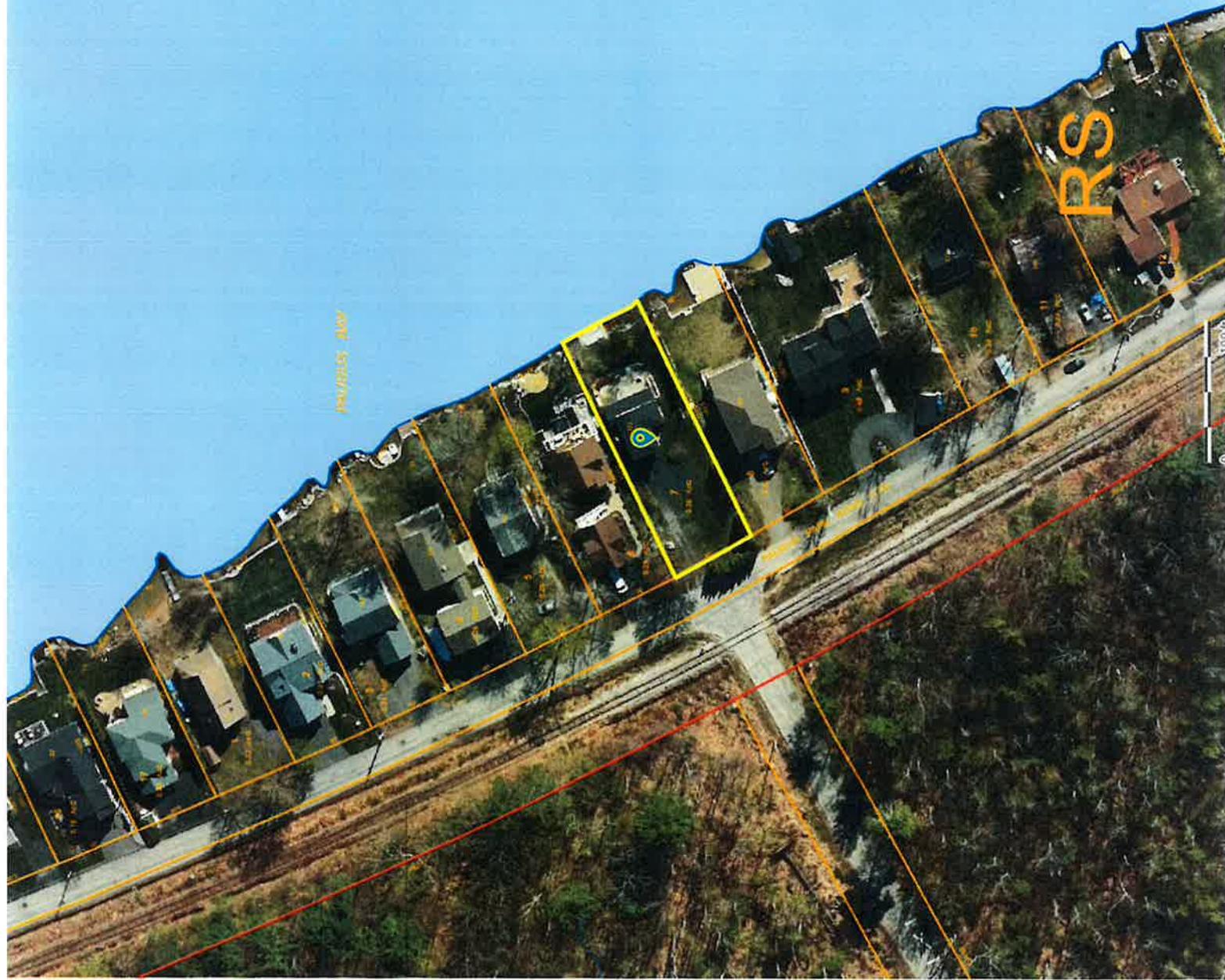
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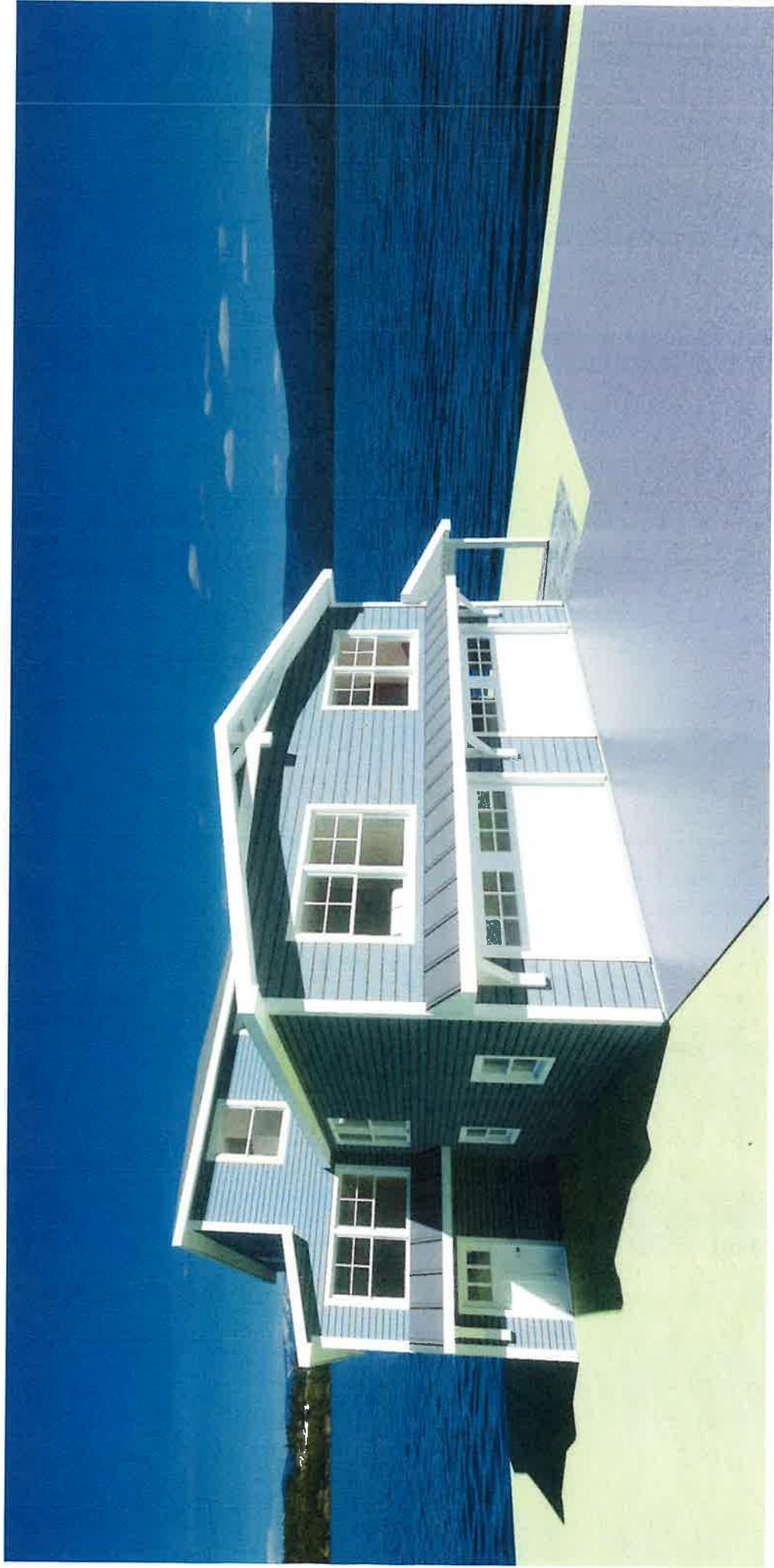
DATE : SEPTEMBER 16, 2025

FILE NO. : DB 2024-143



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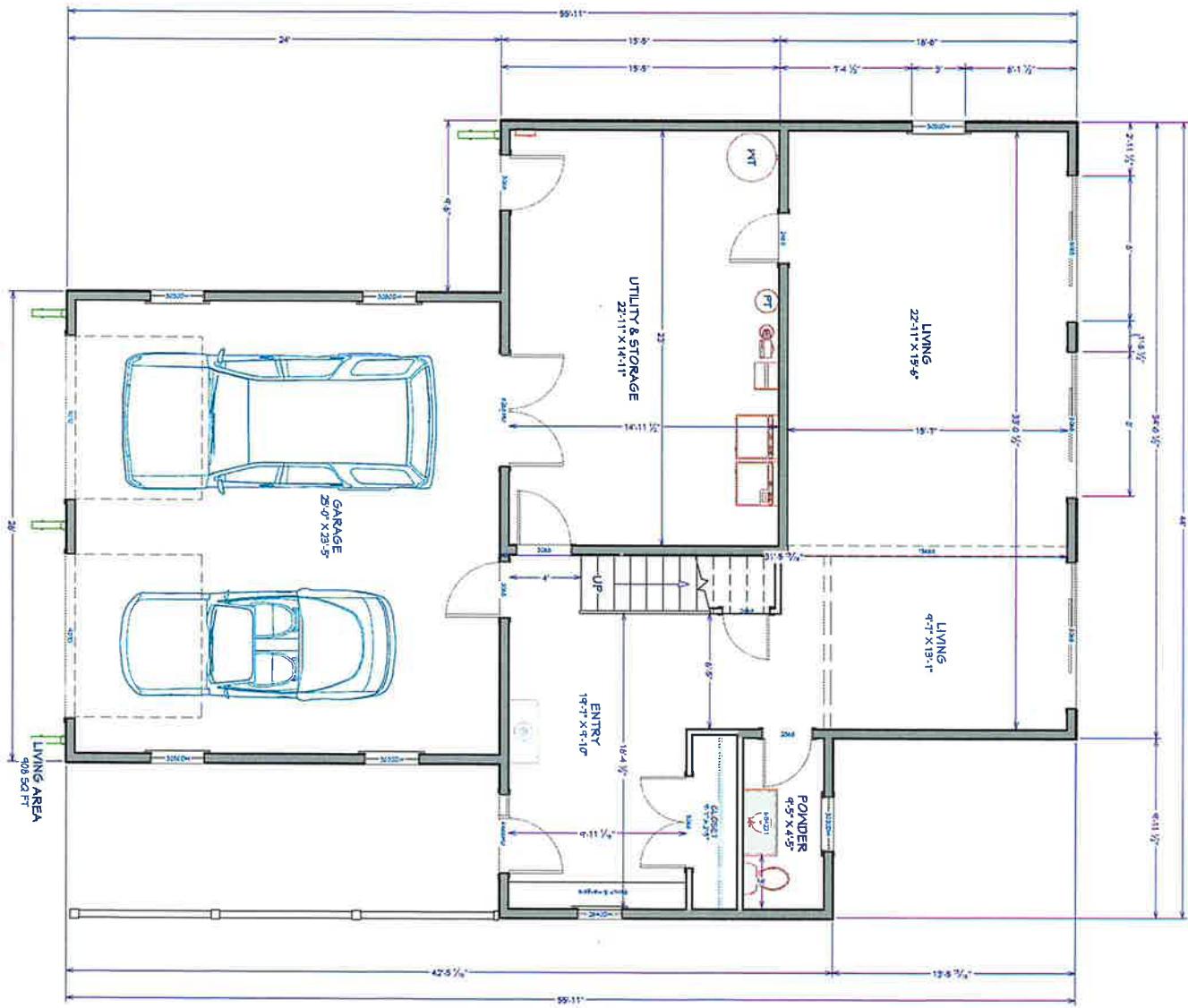






Marie McKay
122 Paugus Park Road
Laconia, N.H.

Title: McKay Addition & Remodel
Revised: 6-26-2025
By: OIC, JRL

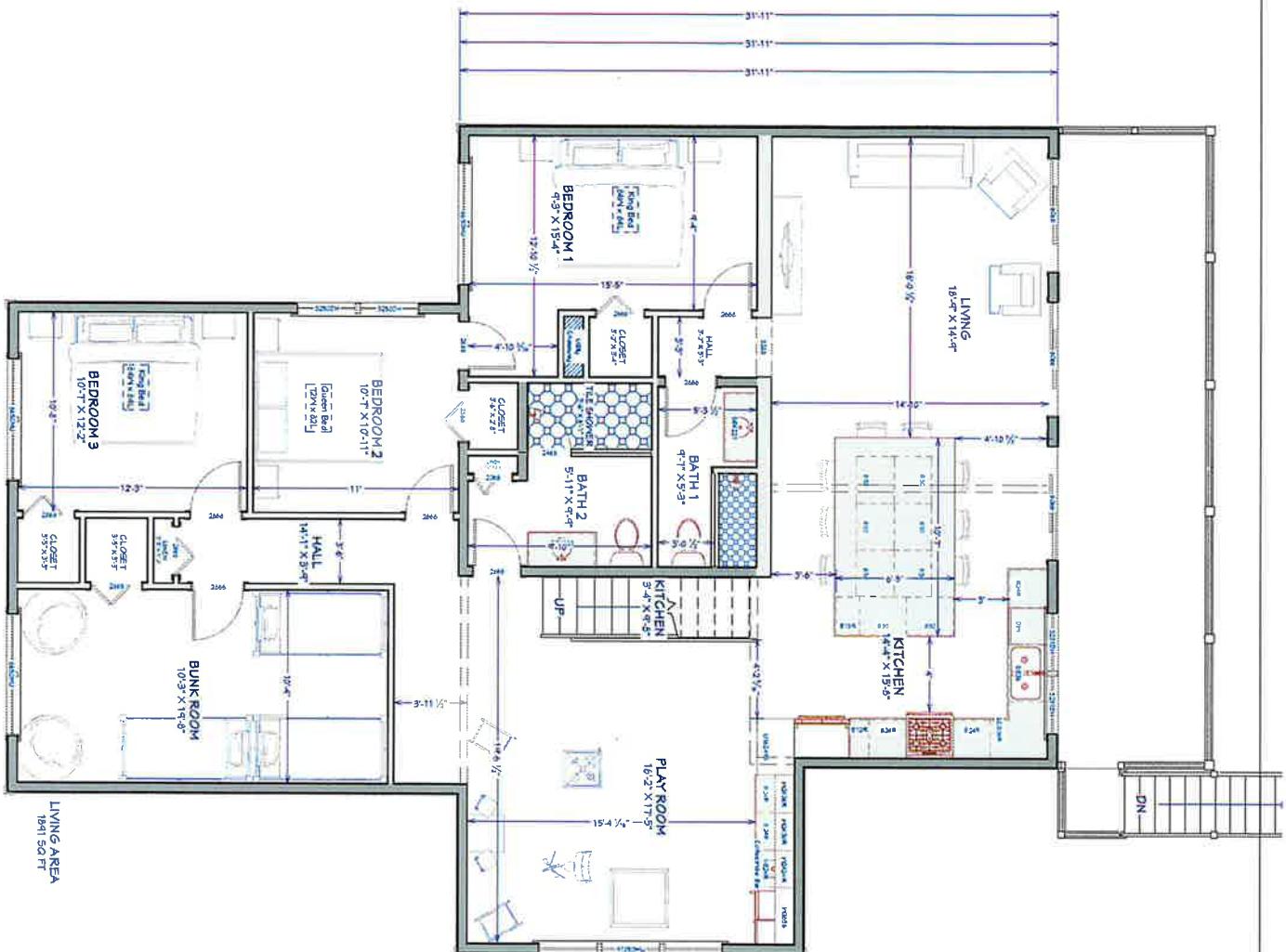


Ground Floor

Marie McKay
122 Paugus Park Road
Laconia, N.H.

Title: McCoy Addition & Remodel
Revised: 6-26-2025
By: OLC, JRL
Revised: 5/21/25

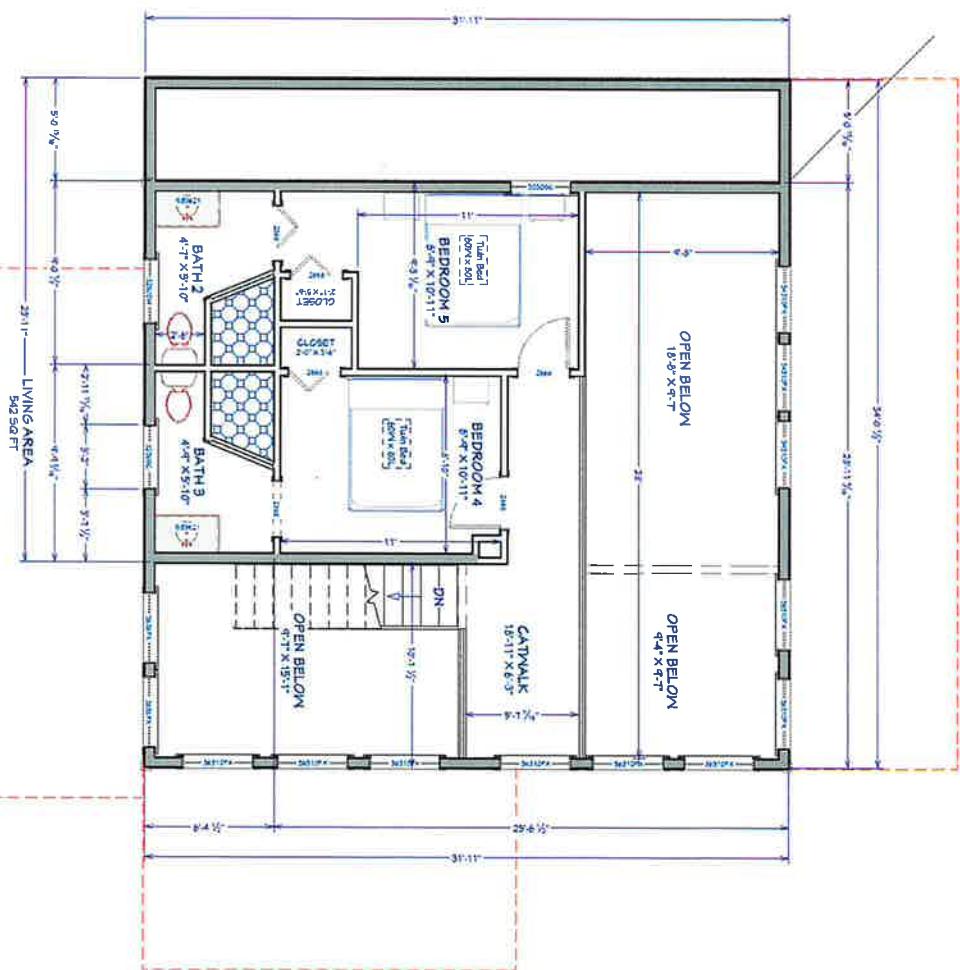
1st Floor

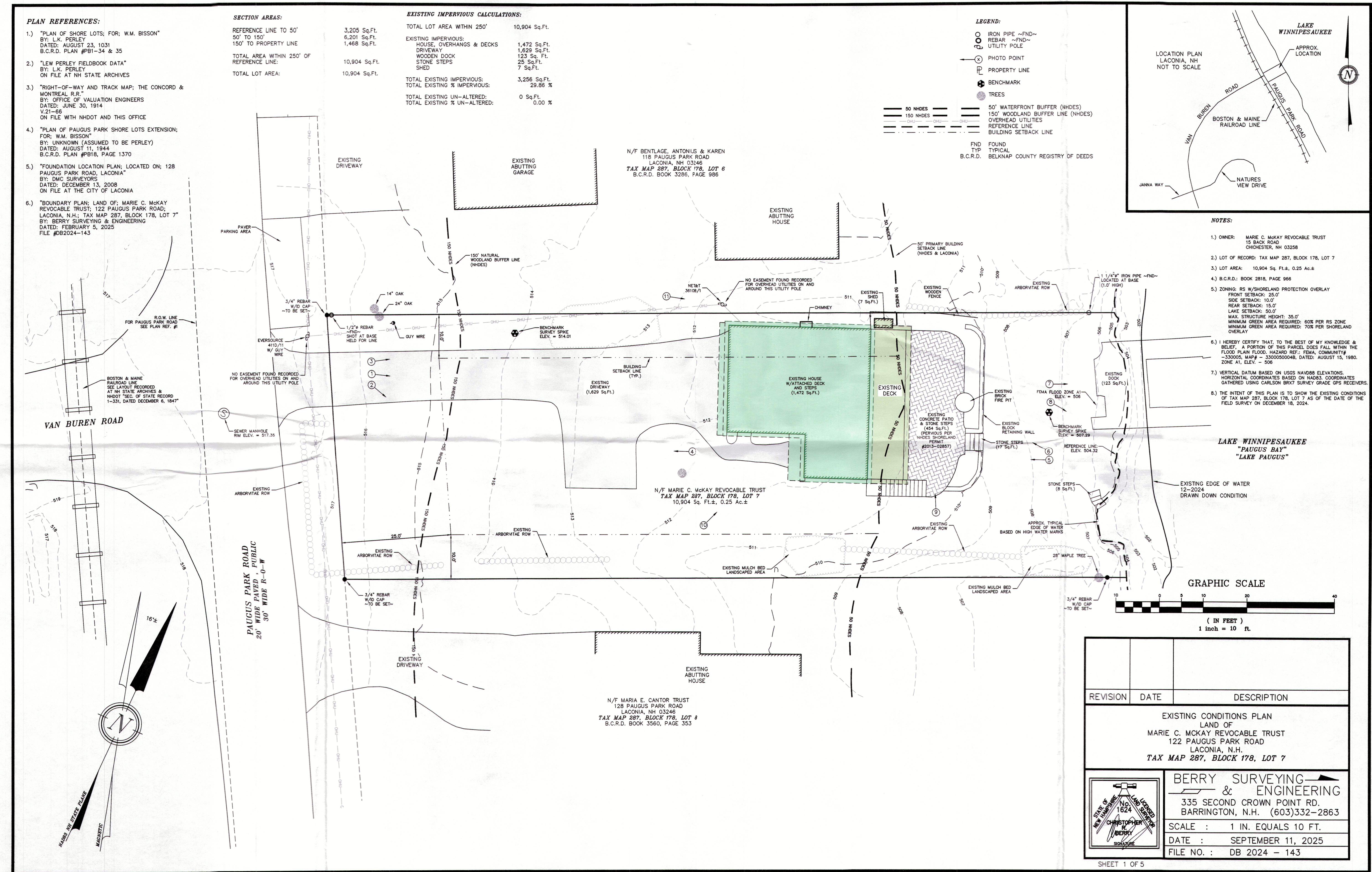


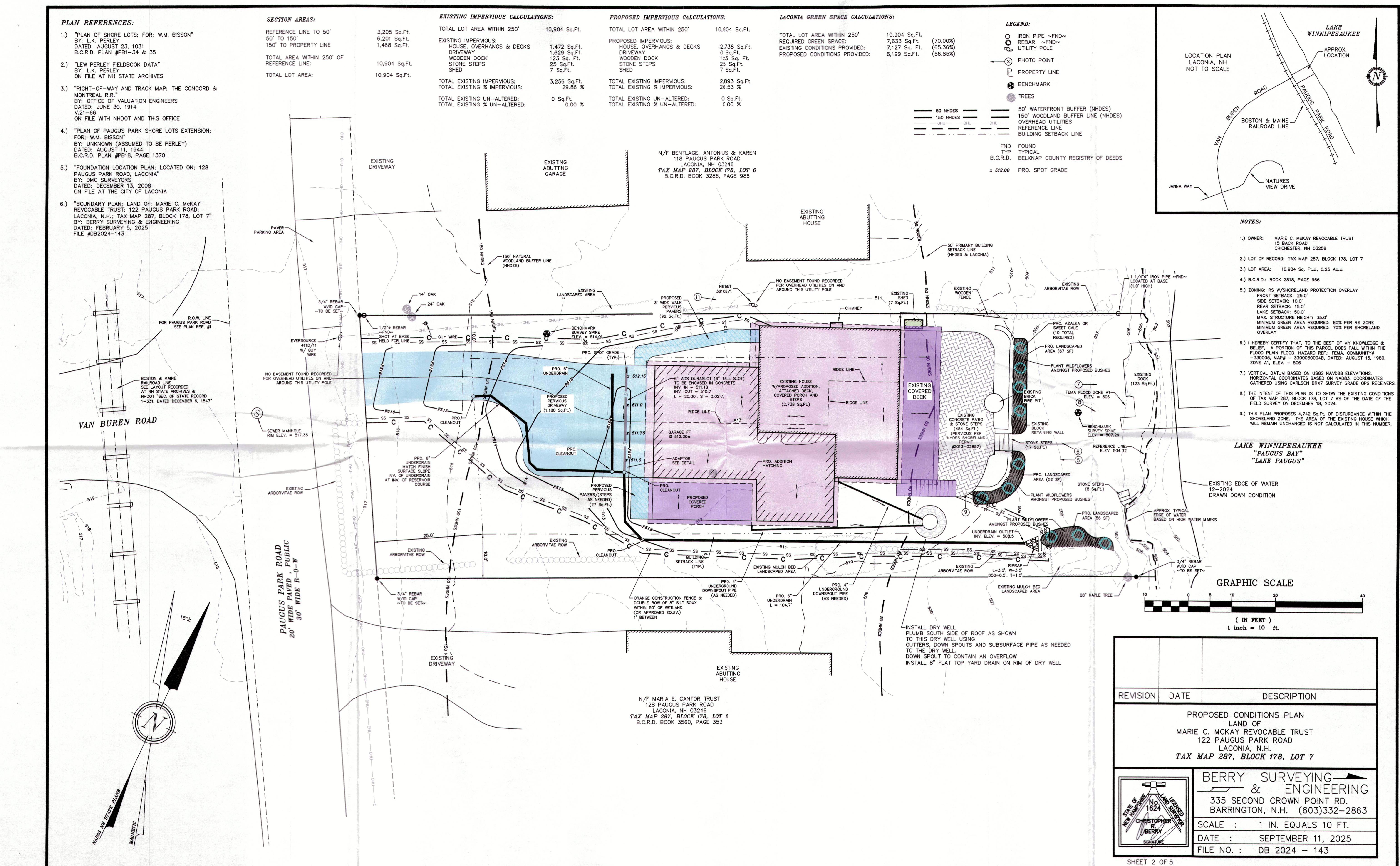
Marie McKay
122 Paugus Park Road
Laconia, N.H.

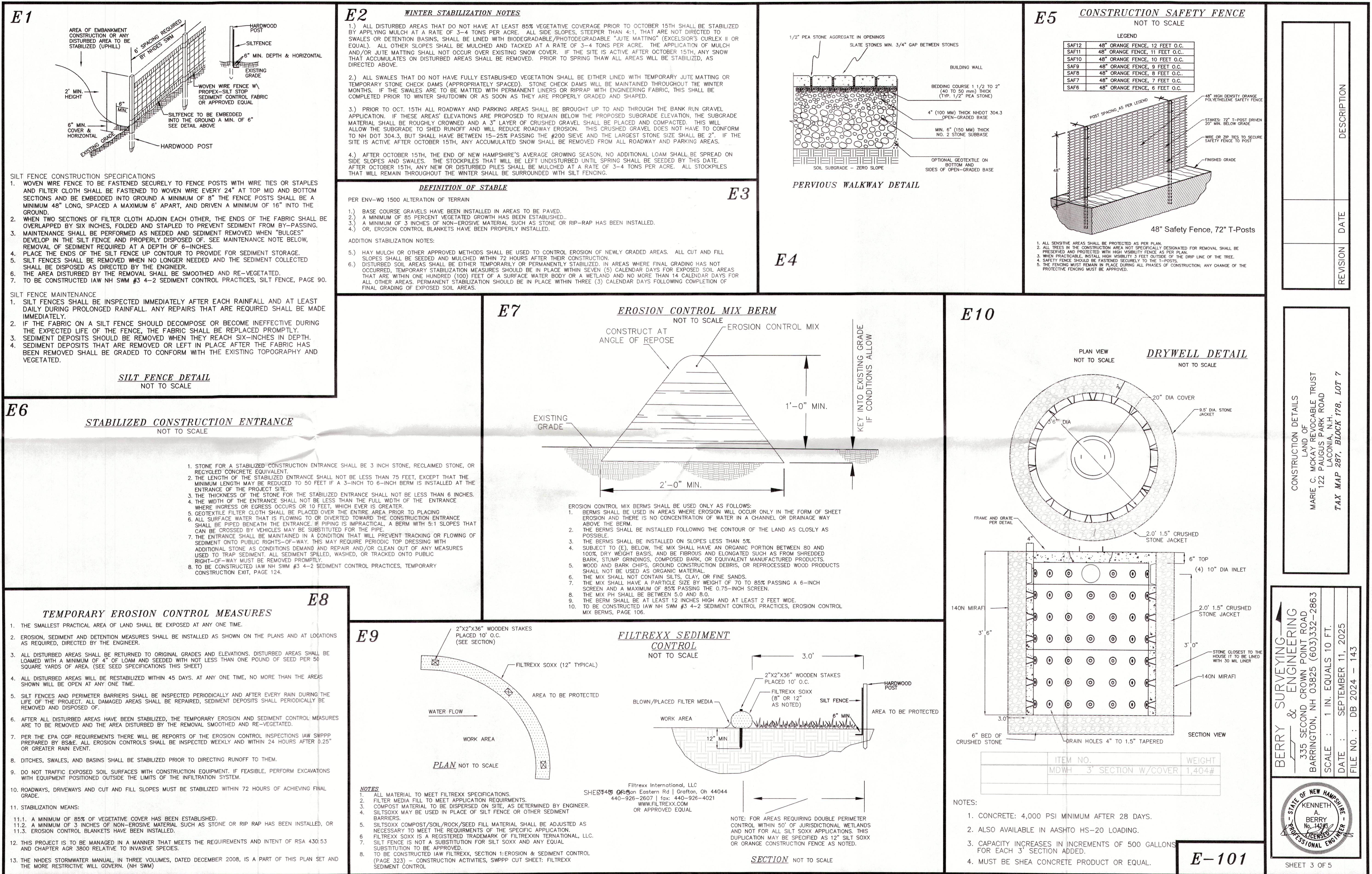
Title: McKay Addition & Remodel
Reviewed: 6-26-2025
By: OIC-JRL
Reviewed: 5/2/25

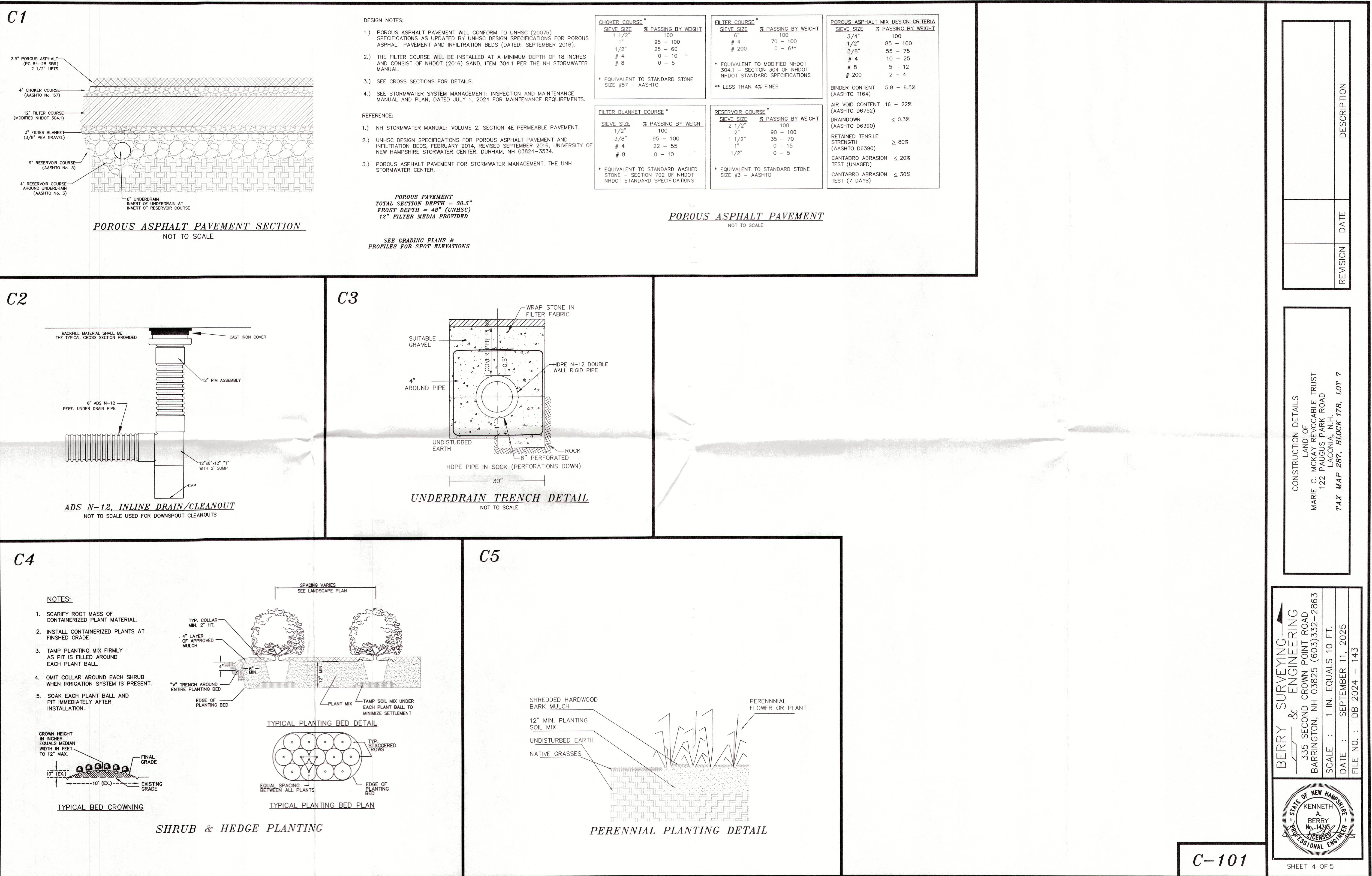
2nd Floor







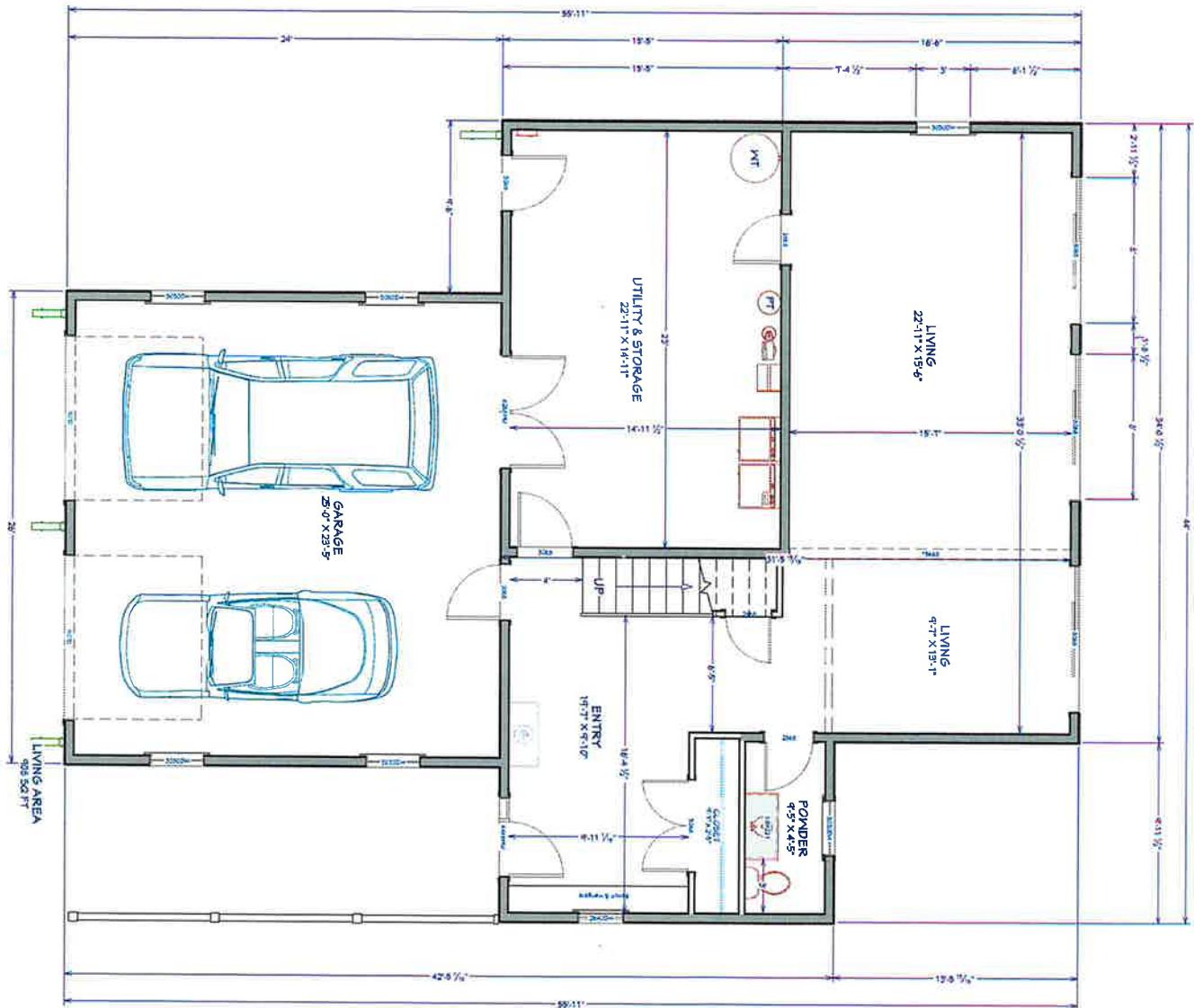




Ground Floor

Marie McKay
122 Augus Park Road
Laconia, N.H.

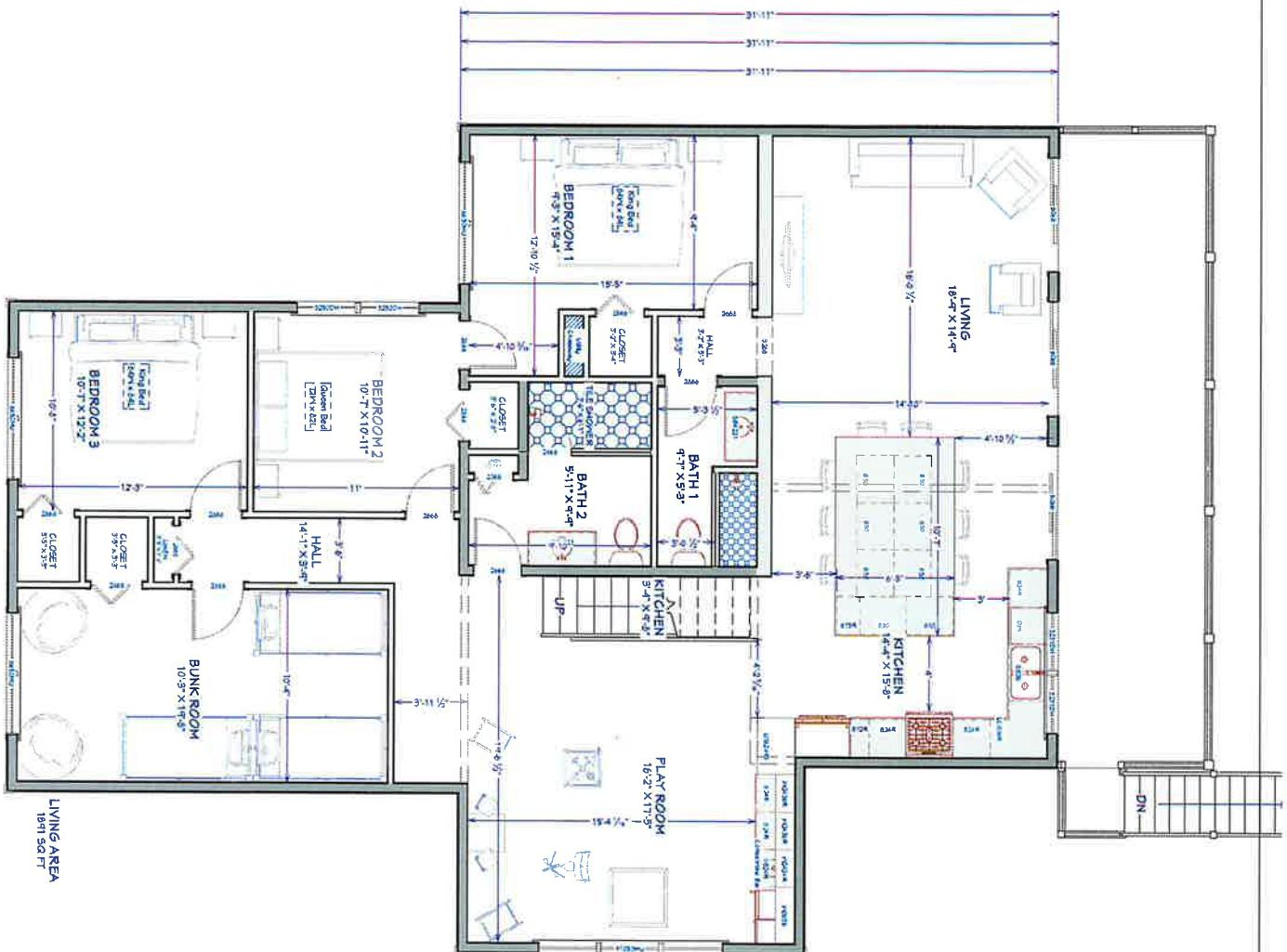
**Title: McKay Addition & Remodel
Revised: 6-26-2025
By: OIC, JRL**



1st Floor

Marie McKay
122 Paugus Park Road
Laconia, N.H.

Title: McKay Addition & Remodel
Revised: 6-26-2025
By: OIC, JRL
Revised: 5/21/25



#1



#3



#2



#4



PROJECT PHOTOS
MARIE C. MCKAY
122 PAUGUS PARK ROAD
LACONIA, N.H.
TAX MAP 287, LOT 178, SUB 7

BERRY SURVEYING
& ENGINEERING

335 SECOND CROWN POINT RD.
BARRINGTON, N.H. 332-2863

SCALE : NONE

DATE : SEPTEMBER 16, 2025

FILE NO. : DB 2024-143

#5



#7



#6



#8



PROJECT PHOTOS
MARIE C. MCKAY
122 PAUGUS PARK ROAD
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TAX MAP 287, LOT 178, SUB 7

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335 SECOND CROWN POINT RD.
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SCALE : NONE

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#9



#11



#10



PROJECT PHOTOS
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TAX MAP 287, LOT 178, SUB 7

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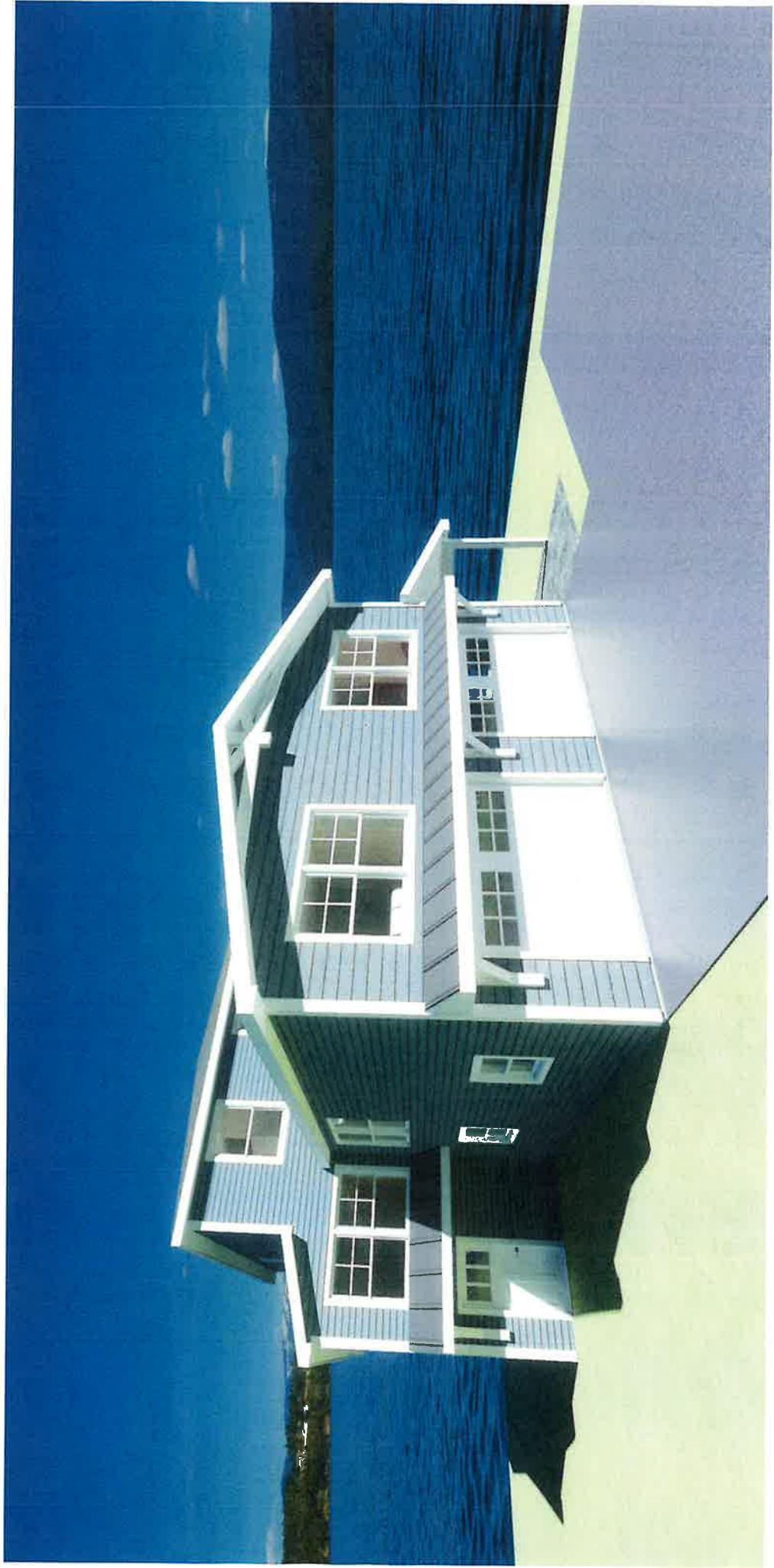
PAUGUS BAY

PAUGUS BAY

RS

PAUGUS BAY



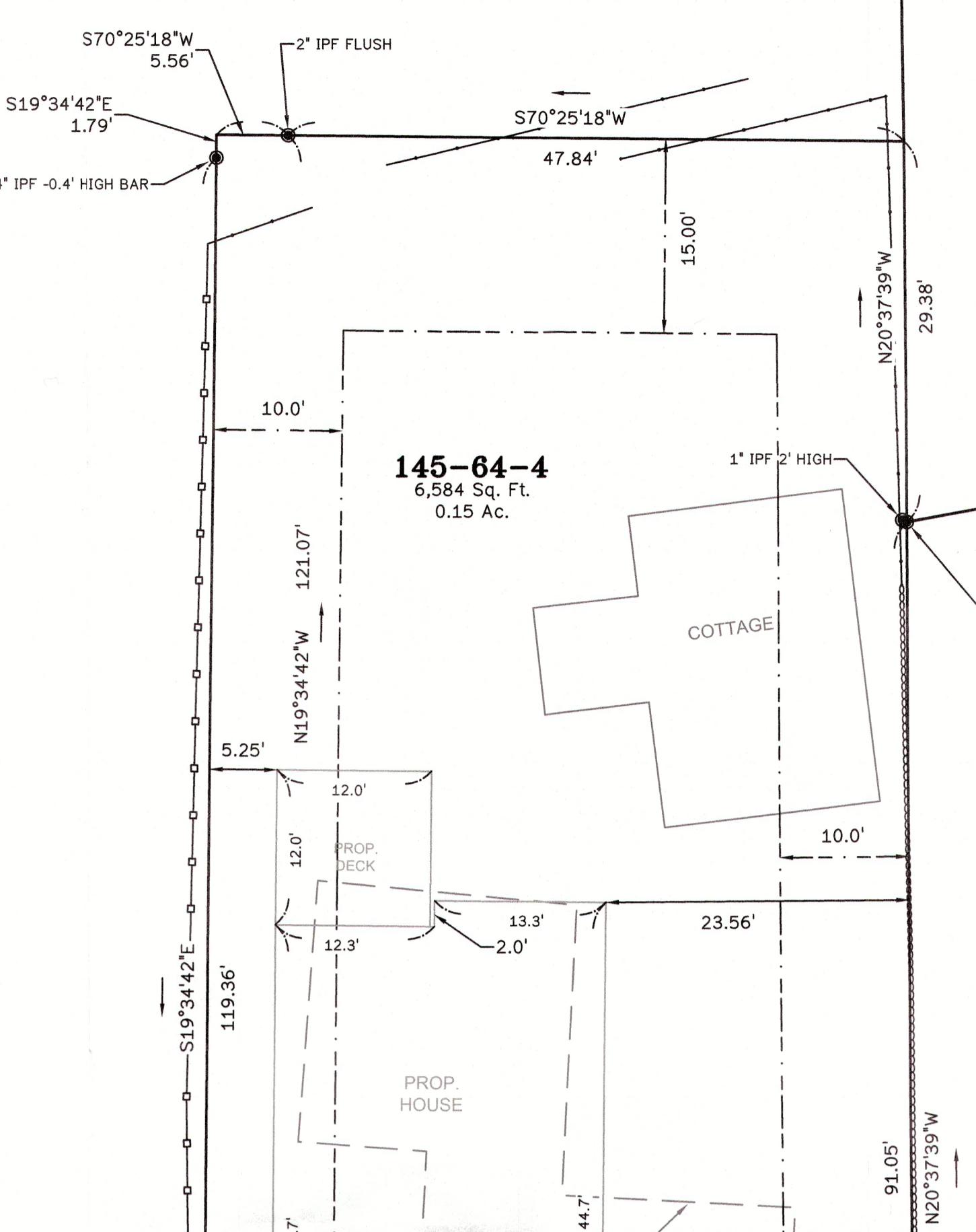




LEGEND

- REBAR FND/SET
- REBAR TO BE SET
- DRILL HOLE FND/SET
- CONCRETE BND/FND/SET
- CONC. BND. TO BE SET
- GRANITE BND. FND/SET
- STONE ERECT FOUND
- STAKE & STONES FND.
- IRON ROD FND
- IRON PIPE FND
- SPIKE FND/SET
- MAGNAIL (PK) FND/SET
- HUB & TACK FND/SET
- TEMPORARY BENCHMARK
- PERMANENT BENCHMARK
- WETLAND FLAG
- WETLAND
- TREELINE
- SEWER MAN HOLE
- DRAIN MAN HOLE
- WELL
- HYDRANT
- WATER SHUTOFF
- TEST PIT
- DECIDUOUS TREE
- CONIFEROUS TREE
- SOIL TYPE
- EDGE OF GRAVEL DRIVE
- STONEWALL
- TREELINE
- WETLAND
- EXISTING WATER
- GATE VALVE
- CATCH BASIN
- UTILITY POLE
- EXISTING STORM DRAIN
- GUY ANCHOR
- BUILDING SETBACK LINE

NH STATE PLANE GRID
COMBINED SCALE FACTOR
0.999946462



NOTES:

- REFERENCE PLANS:
- A) SURVEY FIELD NOTES, JUNE 1895 FOR LAYOUT OF DOE AVE. ON FILE AT THE CITY OF LACONIA PUBLIC WORKS DEPARTMENT.
- B) PLAN TOWER ST, MAY 1914, ON FILE AT THE CITY OF LACONIA PUBLIC WORKS DEPARTMENT.
- C) PLAN OF PROPERTY OF G. W. TARLSON BORDERING ON MAPLE ST., WEIRS NH, SURVEYED DEC. 7 1941 BY J. F. GOODWIN. PLAN RECORDED AT B.C.R.D. AS PLAN BOOK 8 PAGE 578-D.
- D) PLAN OF LAND CASANA LOCATED ON LAKESIDE AVE. & MAPLE ST., LACONIA NH BY H. E. JOHNSON, INC. DATED JULY 1985 AND RECORDED AT B.C.R.D. AT PLAN BK. 119 PG. 35.
- E) PROPOSED BOUNDARY LINE ADJUSTMENT BETWEEN WINNIPESAUKEE FLAGSHIP CORP. AND RHEA, VICTORIA, JESSE, & CHARITY CASANA, AT 322 LAKESIDE AVE. AND MAPLE ST., LACONIA NH BY H. E. JOHNSON, INC. DATED 19 DEC. 2001 AND RECORDED AT B.C.R.D. AT PLAN DRAWER #40 #5.
- F) PROPOSED SITE PLAN, FOR JAMES L. & BRENDA J. DEARBORN, FOSTER AVE, LACONIA NH BY TURNING POINT LAND SURVEYORS AND LAND PLANNERS DATED 5 JUNE 1995 AND RECORDED AT B.C.R.D. AT PLAN DRAWER L43 #30.
- G) AS-BUILT SITE PLAN, FOR JAMES L. & BRENDA J. DEARBORN, FOSTER AVE, LACONIA NH BY TURNING POINT LAND SURVEYORS AND LAND PLANNERS DATED 12 APRIL 1996, LAST REVISED 5/16/96 AND RECORDED AT B.C.R.D. AT PLAN DRAWER L25 #47.
- H) TOWER HILL WATERVIEW, A CONDOMINIUM, SUBDIVISION LOCATED ON TOWER HILL AVE, LACONIA NH PREPARED FOR THWV REALTY TRUST BY DMC SURVEYORS DATED 03/03/03 AND RECORDED AT B.C.R.D. AT PLAN DRAWER L43 #34.
- K) TM 145-64-1 & 156-252-8, EASEMENT SURVEY OF LAND LOCATED ON 59 DOE AVE, LACONIA NH, PREPARED FOR THE VILLAGE AT WINNIPESAUKEE & TRITES, CHARLES SR. BY DMC SURVEYORS, LAST REVISION DATE 7 FEB 2008, AND RECORDED AT B.C.R.D. PLAN DRAWER L20 #59.
- L) TOWER HILL WATERVIEW, A CONDOMINIUM, SUBDIVISION LOCATED ON TOWER HILL AVE, LACONIA NH PREPARED FOR THWV REALTY TRUST BY DMC SURVEYORS DATED 03/03/03 AND RECORDED AT B.C.R.D. AT PLAN DRAWER L43 #34.
- M) TM 145-64-1 & 156-252-8, EASEMENT SURVEY OF LAND LOCATED ON 59 DOE AVE, LACONIA NH, PREPARED FOR THE VILLAGE AT WINNIPESAUKEE & TRITES, CHARLES SR. BY DMC SURVEYORS, LAST REVISION DATE 7 FEB 2008, AND RECORDED AT B.C.R.D. PLAN DRAWER L20 #59.
- N) TOWER HILL WATERVIEW, A CONDOMINIUM, SUBDIVISION LOCATED ON TOWER HILL AVE, LACONIA NH PREPARED FOR THWV REALTY TRUST BY DMC SURVEYORS DATED 03/03/03 AND RECORDED AT B.C.R.D. AT PLAN DRAWER L43 #34.
- O) PLAN OF LAND FOR JOSEPH H. III & DYAN S. DRISCOLL & BERTRAND A. & SHIRLEY A. KIRKAC, TOWER ST, DOE AVE. & MAPLE ST., WEIRS BEACH, LACONIA NH BY H. E. JOHNSON, INC. DATED JUNE 1992, LAST REVISED 16 MARCH 1999 AND RECORDED AT B.C.R.D. AT PLAN DRAWER L20 #59.
- P) TOWER HILL WATERVIEW, A CONDOMINIUM, SUBDIVISION LOCATED ON TOWER HILL AVE, LACONIA NH PREPARED FOR THWV REALTY TRUST BY DMC SURVEYORS DATED 03/03/03 AND RECORDED AT B.C.R.D. AT PLAN DRAWER L43 #34.
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- R) TOWER HILL WATERVIEW, A CONDOMINIUM, SUBDIVISION LOCATED ON TOWER HILL AVE, LACONIA NH PREPARED FOR THWV REALTY TRUST BY DMC SURVEYORS DATED 03/03/03 AND RECORDED AT B.C.R.D. AT PLAN DRAWER L43 #34.
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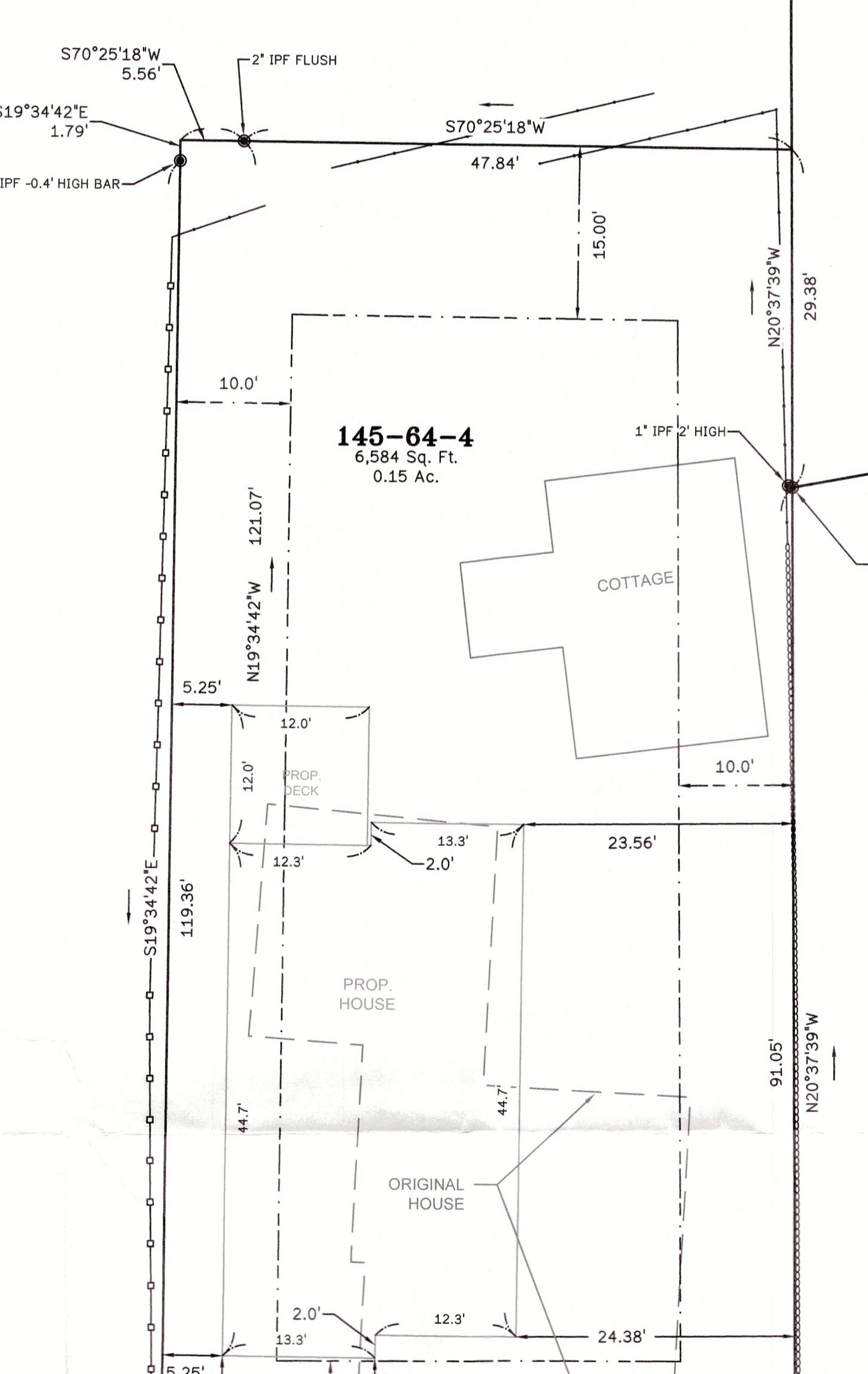
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NH STATE PLANE GRID
COMBINED SCALE FACTOR
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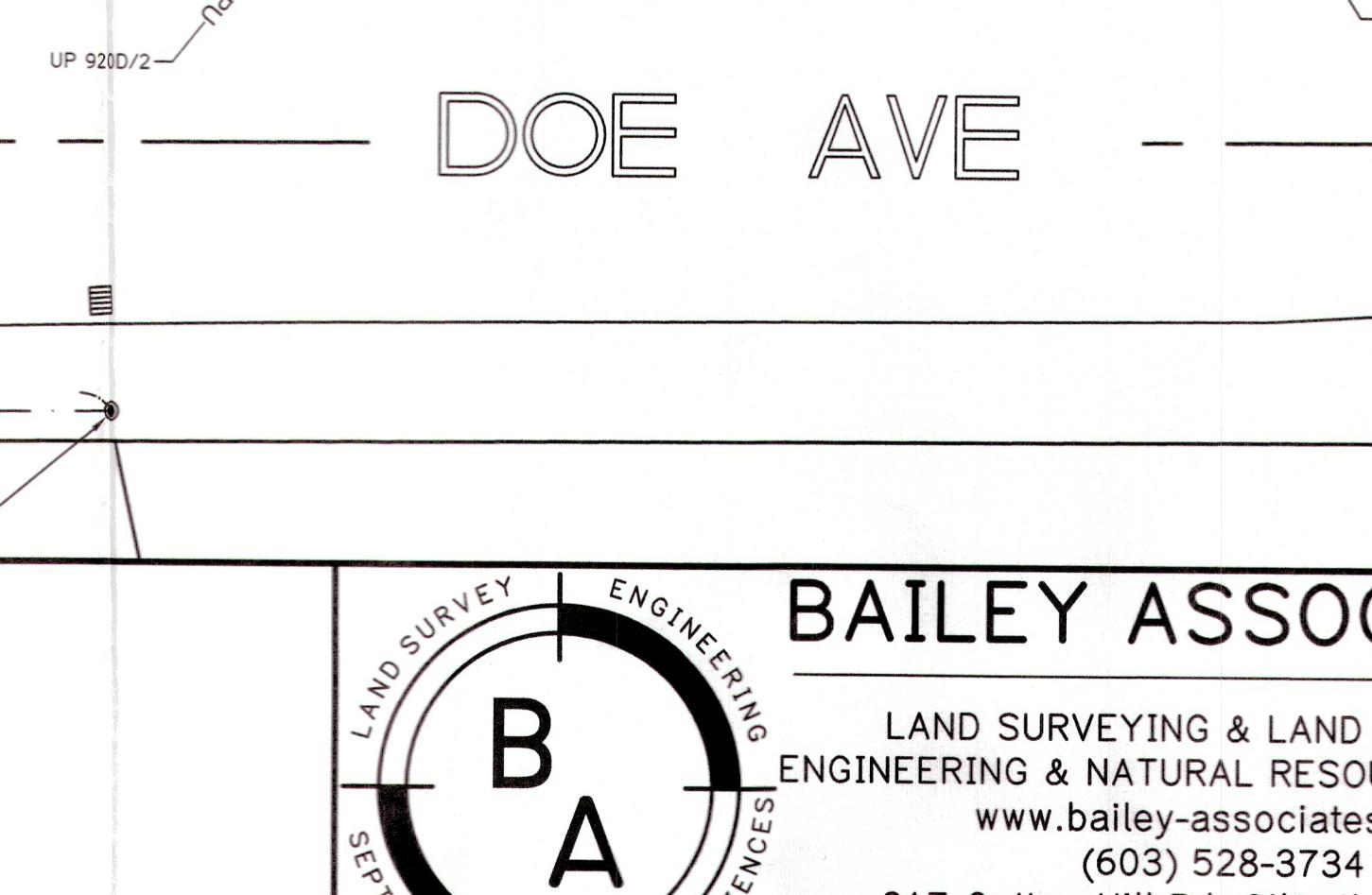
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Application #: ZB 2021-029
Fees Paid: \$195.00
Check #: 544
Receipt #:

ZONING BOARD OF ADJUSTMENT VARIANCE APPLICATION

Name of Applicant: Brian & Debra Beaulieu

Mailing Address: 278 Dockham Shore Rd., Gilford, NH 03249

Owner (If same as applicant, write "same"): Same

Mailing Address: Same

Tax Map/ Lot # (s): Map 167, Lot 269-1 Zoning District (s): SFR & Shoreland Protection Overlay District

Street Address: 17 Wentworth Cove Road

OWNER AUTHORIZATIONS & STATEMENTS OF ASSURANCE:

I hereby make application to the City of Laconia for the above-referenced property (ies) and the development as described. To the best of my knowledge the information provided herein is accurate and is in accordance with the Zoning Ordinance and land use regulations of the City, except where waivers are requested. The City of Laconia Zoning Board and/or city employees are authorized to enter the property (ies) for purposes of reviewing this proposal and for inspecting improvements as a result of an approval of this proposal. I understand that I am responsible for appearing, or having someone appear on my behalf, at any and all meetings before the Zoning Board.

Sign as appropriate (If agent or non-person please attach certification)

NOTE: Please attach an Applicant Contact Worksheet

PROPERTY OWNER(S)

Brian & Debra Beaulieu

Printed Name Here

A handwritten signature in black ink that reads "Brian & Debra Beaulieu".

Signature of Property Owner(s)

12/16/25

Date

AGENT(S)

Justin Daigneault - Granite Engineering, LLC

Printed Name Here

A handwritten signature in black ink that reads "Justin Daigneault".

Signature of Agent(s)

12/16/2025

Date

NOTE: This application is not acceptable unless all required statements have been made. Additional information may be supplied on a separate sheet if the space provided is inadequate.

REQUIRED ATTACHMENTS:

- Abutters List (from <https://www.axisgis.com/LaconiaNH/>)
- Envelopes and Certified Mail Receipts (Filled out for all abutters)
- Plot Plan (Showing dimensions of proposed building, setback requirements, and encroachments into any setbacks.)

A variance is requested from article 235-19 section F(2) (b) of the Zoning Ordinance to permit _____
Encroachment of 81 square feet of a raised deck into the 50' setback from Lake Winnipesaukee _____

Facts in support of granting the Variance:

1. Granting the variance would not be contrary to the public interest because:

See attached narrative.

2. If the variance were granted, the spirit of the ordinance would be observed because:

See attached narrative.

3. Granting the variance would do substantial justice because:

See attached narrative.

4. If the variance were granted, the values of the surrounding properties would not be diminished because:

See attached narrative.

5. Unnecessary Hardship

a. Owing to special conditions of the property that distinguish it from other properties in the area, denial of the variance would result in unnecessary hardship because:

i. No fair and substantial relationship exists between the general public purposes of the ordinance provision and the specific application of that provision to the property because:

See attached narrative.

ii. The proposed use is a reasonable one because:

See attached narrative.

-or-

b. If the criteria in subparagraph (a) are not established, an unnecessary hardship will be deemed to exist if, and only if, owing to special conditions of the property that distinguish it from other properties in the area, the property cannot be reasonably used in strict conformance with the ordinance, and a variance is therefore necessary to enable a reasonable use of it.

Facts in support of granting the Variance:

1. Granting the variance would not be contrary to the public interest because:

The proposal significantly reduces existing nonconformity within the 50-foot Lake Winnipesaukee waterfront setback. The existing development includes approximately 2,495 square feet of house and deck area within the setback. The proposed redevelopment relocates the residence entirely outside the setback, with only approximately 81 square feet of deck encroaching into the setback that was not previously encroached. This results in a substantial reduction of structural encroachment, improved shoreline conditions, and increased consistency with shoreland protection goals, thereby serving the public interest.

2. If the variance were granted, the spirit of the ordinance would be observed because:

The intent of Article 235-19, Section F(2)b is to protect Lake Winnipesaukee by limiting structural development close to the shoreline. The proposed project advances this intent by eliminating existing structures within the setback and replacing them with a conforming residence that substantially increases the setback distance of the primary structure from the lake. The limited deck encroachment represents a minimal and reduced impact compared to existing conditions and maintains the ordinance's protective purpose.

3. Granting the variance would do substantial justice because:

Granting the variance allows the applicant to modernize and improve the property while significantly reducing existing encroachments into the shoreline setback. Denial would perpetuate or incentivize continued use of outdated, nonconforming structures rather than encouraging redevelopment that improves compliance. The benefit to the applicant is proportionate and reasonable, while the public benefits from improved setback compliance and shoreline protection.

4. If the variance were granted, the values of the surrounding properties would not be diminished because:

The proposed redevelopment replaces multiple older structures with a single, code-compliant residence that is set farther back from the shoreline than existing conditions. This reduction in visual clutter and improvement in site layout is consistent with surrounding residential development patterns and is expected to enhance, rather than diminish, neighborhood character and property values.

5. Unnecessary Hardship:

- a. Owing to special conditions of the property that distinguish it from other properties in the area, denial of the variance would result in unnecessary hardship because:

The lot is constrained by its shoreline location, existing nonconforming development, and established building footprint patterns predating current zoning regulations. These conditions limit the ability to redevelop the property in full conformity without some encroachment. Strict application of the setback requirement would prevent reasonable redevelopment that substantially reduces nonconformity and improves compliance with current standards.

- i. No fair and substantial relationship exists between the general public purposes of the ordinance provision and the specific application of that provision to the property because:

Applying the 50-foot setback strictly to prohibit a minor deck encroachment, while allowing significantly larger existing encroachments to remain, does not further the ordinance's underlying public purpose. The proposed redevelopment materially advances shoreline protection goals by reducing encroachment area by over 90 percent, and denying the variance would not result in additional meaningful public benefit.



ZONING & PLANNING BOARD APPLICATION FEES
Adopted by City Council 2/10/2020
www.cityoflaconianh.org

Application Type †	Basic Fee*	Additional Fees*	
Administrative Review	\$125.00	None apply	
Administrative Review Short Term Lodging Permit	\$250	Permit must be renewed every 2 years, fee authorized at that time.	
Minor Site Plan Committee (MSPC), Minor Site Plan or Change of Use between 5,000 and 10,000 SF#	\$100.00	None apply	
Planning Board Basic Site Plan, Site Plan Amendment or Change of Use over 10,000 SF#	\$200.00	Construction of new commercial structures, and additions	+ \$50 per each 1,000 SF# of new structure footprint
		Construction of new <u>industrial</u> structures and additions	+ \$30 per each 1,000 SF# of new structure footprint
		Construction of new residential units	+ \$50 per unit
		Principal Outdoor Uses	+ \$100 per acre (or portion over .5 acre) of developed area
		Parking or paving	+ \$20 per 1,000 SF#
Basic Subdivision (of Lots or Sites)	\$200.00	For 1-3 lots/sites (includes the original lot)	\$50 per lot/site
		For over 3 lots/sites (including original lot)	\$75 per lot/site
		Lot Line Adjustments	\$50 for each adjustment between every two lots
		Boundary Line Agreements	\$50 for each adjustment between every two lots
Basic Site Plan for establishment or expansion of parking lots over 25 spaces	\$500.00	None apply	
Design Review	\$100.00	None apply	
Conceptual Review	No Fee	None apply	
As-built Site Plan	\$100.00	None apply	
Miscellaneous Items/Fees			
Request for a continued hearing		\$25.00 for the first request, \$50. for each request after	
Request for extension of approval		\$25.00 for the first request, \$50. for each request after	
Request for Street Acceptance		\$100.00 Flat fee	
Conditional Use Permits		\$100.00 Per requirement	
Zoning Petitions	\$100.00		
Zoning Applications, Zoning Re-Hearings	\$125.00 ✓		
Lot Merger Applications	\$25.00		
Sign Permits	\$30.00 per sign		
Banner Sign Permits	\$50.00 per banner per week		
After-the-fact Applications		\$500 or double the regular application fee, whichever is greater, plus the normal application fee	
Abutter Notification	7x10 = \$70	\$10 per abutter, includes postal fees. Applicants wishing to pay the postal fees will be credited that amount. Applicant must prepare the mailing envelopes including affixing certified slip (return receipt not required).	
Recording Fees		Make payable to Belknap County Registry of Deeds – amounts will vary depending on what is being recorded	

*Application fees do not include recording fees.

†Submission of an application fee must accompany a complete application in order for that application to be placed on an agenda for review and/or public hearing.

Brian & Debra Beaulieu
278 Dockham Shore Rd.
Gilford, NH 03249

166-269-44

DUDLEY BETTE A TRUST/TRUS
32 WENTWORTH COVE RD
LACONIA, NH 03246
166-269-28

HOMSI RICHARD
84 SUMMIT AVE
LACONIA, NH 03246
167-270-2

LEPINE PHILIP J TRUST/TRU
60 SUMMIT AV
LACONIA, NH 03246
166-270-27.2

RAHILLY DEBRA A
18 VERA RD
MIDDLETON, MA 01949
166-269-43

Consultants

Granite Engineering, LLC
150 Dow Street, Tower 2, Suite 421
Manchester, New Hampshire 03101

Marquis Contracting Group
717 Daniel Webster Highway
Merrimack, NH 03054

OWNER AFFIDAVIT

I, Debra Beaulieu, hereby authorize Granite Engineering, LLC to submit local, state, and federal land use applications on my behalf, as they relate to the redevelopment of the property situated at 17 Wentworth Cove Road, Laconia NH and referenced on Tax Assessor's Map 167 Lot 269-1. Further, I authorize Granite Engineering, LLC to aid in the representation of said permits, as required, before the City of Laconia and the State of New Hampshire.



Debra Beaulieu
17 Wentworth Cove Road
Laconia, NH 03246



GRANITE ENGINEERING, LLC

civil engineering • land planning • municipal services

December 19, 2025

City of Laconia Zoning Department
Scott Pelchat
Zoning Tech
45 Beacon Street E
Laconia, New Hampshire 03246

RE: 17 Wentworth Cove – ZBA Variance Application
Tax Map 269 Lot 1
17 Wentworth Cove Road
Laconia, NH
GE#2410221

Dear Mr. Pelchat,

Enclosed, please find an executed application and associated supporting material for the above referenced project, for an anticipated Zoning Board hearing on January 20, 2026.

Brian & Debra Beaulieu (Applicant) proposes to raze an existing single-family residence and construct a new single-family residence located at 17 Wentworth Cove Road in Laconia, NH (Tax Map 269 Lot 1). The property is located within the SFR & Shoreland Protection Overlay District.

The property includes an Application to the ZBA for a variance request for encroachment into the 50' waterfront setback. The existing development includes approximately 2,495 square feet of house and deck area within the setback. The proposed redevelopment relocates the residence entirely outside the setback, with only approximately 81 square feet of deck encroaching into the setback that was not previously encroached.

We are pleased to submit the following items for consideration in relation to this project:

1. One (1) copy of an Executed Zoning Board Variance Application with supporting narrative;
2. One (1) copy of the Zoning Application Fees
3. One (1) copy of certified list of abutters
4. One (1) copy of a Signed Owners and Applicant Affidavit;
5. One (1) set of envelopes with postage for use in abutter notification;
6. One (1) full size copies of the plans;
7. Checks to cover the various application fees calculated as follows:

Variance Request	= \$125.00
Abutter Notification	
5 Abutter x \$10	= \$50
<u>2 Owner/Applicant/Consultants x \$10</u>	<u>= \$20</u>
Check # 544	\$195.00

If you need any further information or if you have any questions, don't hesitate to contact this office.

Best Regards,

A handwritten signature in black ink, appearing to read "Justin Daigneault".

Justin Daigneault
Project Manager

REVISIONS		COMMENTS	PROJECT SUBMITTAL	BY
No.	DATE		1/20	2/20
1	9/26/2025		NH05 SHORELAND COMMENTS	2/20

OWNER: BRIAN & DEBRA BEAULEAU
17 WENTWORTH COVE ROAD
LACONIA, NH 03246
APPLICANT: BRIAN & DEBRA BEAULEAU
17 WENTWORTH COVE ROAD
LACONIA, NH 03246

**GRANITE
ENGINEERING**
civil engineering • land planning •
municipal services
150 Dow Street, Tower 2, Suite 421
Manchester, New Hampshire 03101
603.518.8030
www.GraniteEng.com

STAMP:

LOCATION: TAX MAP 167 LOT 269-1
17 WENTWORTH COVE ROAD
LACONIA, NEW HAMPSHIRE
BELKNAP COUNTY

PROJECT: 17 WENTWORTH COVE

TITLE: EXISTING
CONDITIONS PLAN

PROJECT No. DATE: 24-1022-1 AUGUST 15, 2025 SCALE: 1"=10'



REVISIONS		COMMENTS	PROJECT SUBMITTAL	BY
No.	DATE		1/20	2/20
1	9/26/2025		NH05 SHORELAND COMMENTS	2/20

OWNER: BRIAN & DEBRA BEAULEAU
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STAMP:

LOCATION: TAX MAP 167 LOT 269-1
17 WENTWORTH COVE ROAD
LACONIA, NEW HAMPSHIRE
BELKNAP COUNTY

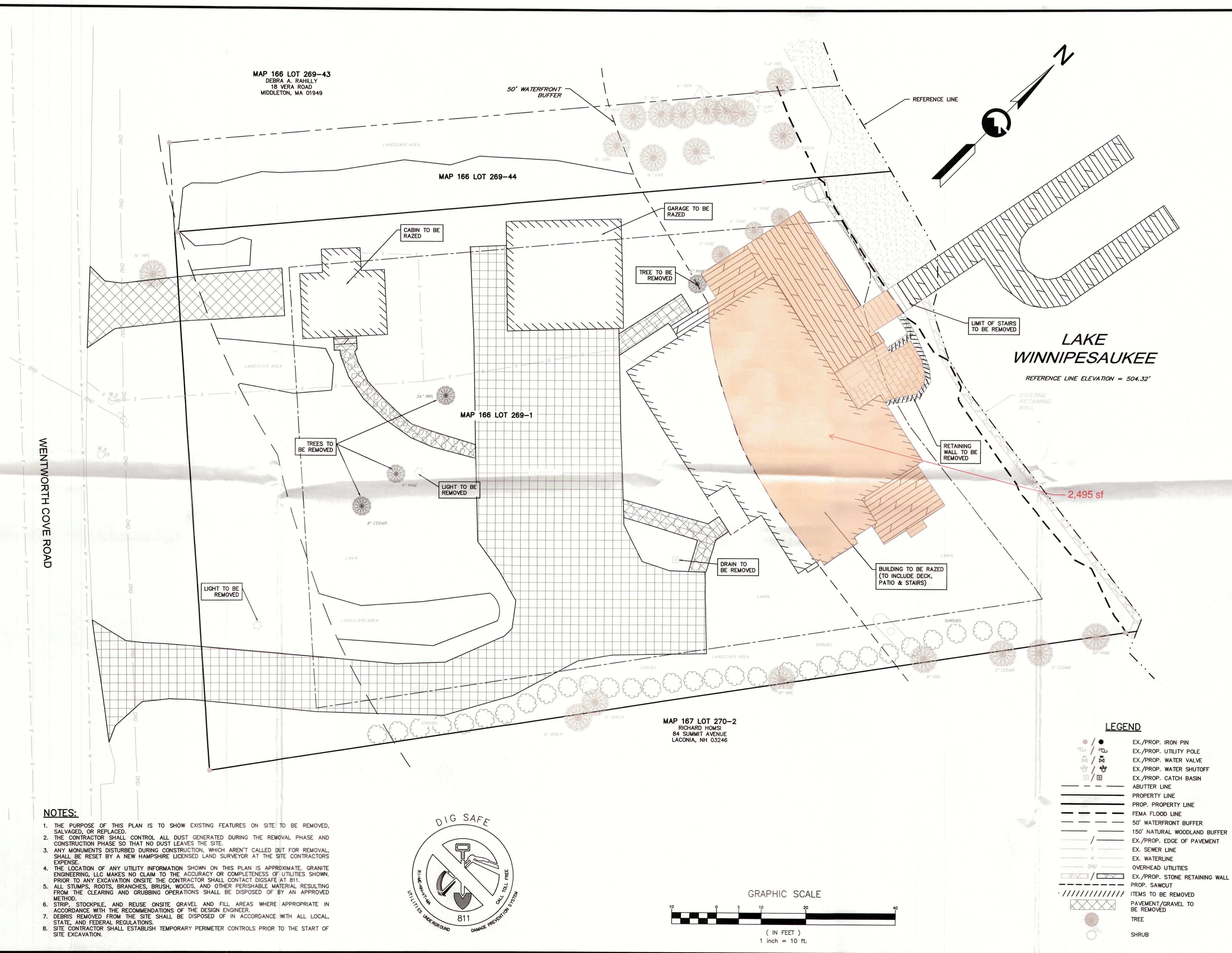
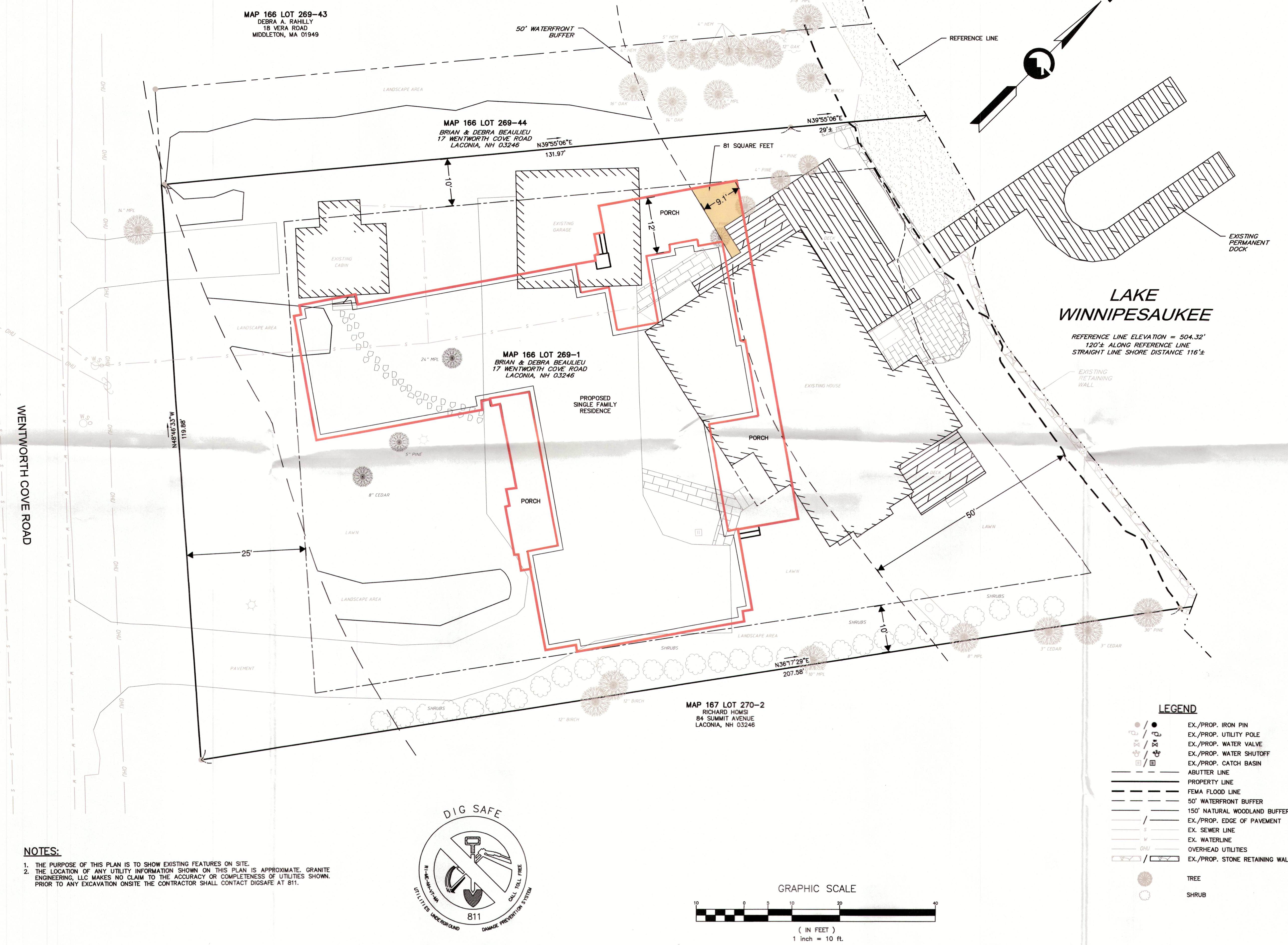
PROJECT: 17 WENTWORTH COVE


TITLE: REMOVAL
PLAN

PROJECT No. DATE: 24-1022-1 AUGUST 15, 2025 SCALE: 1"=10'

STAMP:

2 OF 5





PRELIMINARY SET - NOT FOR CONSTRUCTION

SITE PLAN

BEAULIEU RESIDENCE

17 WENTWORTH COVE RD.
LACONIA, NH 03246

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PROJECT NO.: 303

HEET:

SP1.0

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THESE ARCHITECTURAL PLANS AND THE HOME CONSTRUCTED PURSUANT TO THE PLANS ARE THE EXCLUSIVE COPYRIGHTED PROPERTY OF JAMES MCNEAL ARCHITECTURE & DESIGN, LLC AND ARE PROTECTED BY UNITED STATES COPYRIGHT LAW. ANY UNAUTHORIZED USE OF THESE PLANS IS STRICTLY PROHIBITED.
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J MAD ARCHITECTURE
275 Market Street, Suite 135
Minneapolis, MN 55405
877-795-JMAD
www.JamesMcNealArchitectureAndDesign.com

ISSUE:
2025-12-12



Application #: 2B2026-018
Fees Paid: \$ 275.00
Check #: 355D
Receipt #: _____

ZONING BOARD OF ADJUSTMENT VARIANCE APPLICATION

Name of Applicant: Skyview Acres LLC

Mailing Address: PO Box 1926, Concord, NH 03302

Owner (If same as applicant, write "same"): Same

Mailing Address: Same

Tax Map/ Lot # (s): 255/241/2 Zoning District (s): RR2

Street Address: 238 White Oaks Road

OWNER AUTHORIZATIONS & STATEMENTS OF ASSURANCE:

I hereby make application to the City of Laconia for the above-referenced property (ies) and the development as described. To the best of my knowledge the information provided herein is accurate and is in accordance with the Zoning Ordinance and land use regulations of the City, except where waivers are requested. The City of Laconia Zoning Board and/or city employees are authorized to enter the property (ies) for purposes of reviewing this proposal and for inspecting improvements as a result of an approval of this proposal. I understand that I am responsible for appearing, or having someone appear on my behalf, at any and all meetings before the Zoning Board.

Sign as appropriate (If agent or non-person please attach certification)
NOTE: Please attach an Applicant Contact Worksheet

PROPERTY OWNER(S)

Peter Grenier

Printed Name Here Duly authorized for Skyview Acres LLC

A handwritten signature in black ink that appears to read "Peter Grenier".

Signature of Property Owner(s)

9-22-25

Date

AGENT(S)

John G. Cronin, Esq.

Printed Name Here

A handwritten signature in black ink that appears to read "John G. Cronin, Esq.". It is written over a signature line.

Signature of Agent(s)

9/24/25

Date

NOTE: This application is not acceptable unless all required statements have been made. Additional information may be supplied on a separate sheet if the space provided is inadequate.

REQUIRED ATTACHMENTS:

- Abutters List (from <https://www.axisgis.com/LaconiaNII/>)
- Envelopes and Certified Mail Receipts (Filled out for all abutters)
- Plot Plan (Showing dimensions of proposed building, setback requirements, and encroachments into any setbacks.)

DUE AT SUBMISSION:

10 COPIES OF ENTIRE ZONING BOARD APPLICATION WITH REQUIRED ATTACHMENTS

235-25 Uses Permitted by Right
235 -Attachment 2 Table of Dimensional Regulations
237-17 Wetlands Conservation and Water Quality Overlay

A variance is requested from article _____ section _____ of the Zoning Ordinance to permit _____
Twelve single-family residences - Please see attached

Facts in support of granting the Variance:

1. Granting the variance would not be contrary to the public interest because:
Please see attached

2. If the variance were granted, the spirit of the ordinance would be observed because:
Please see attached

3. Granting the variance would do substantial justice because:
Please see attached

4. If the variance were granted, the values of the surrounding properties would not be diminished because:
Please see attached

5. Unnecessary Hardship

a. Owing to special conditions of the property that distinguish it from other properties in the area, denial of the variance would result in unnecessary hardship because:

i. No fair and substantial relationship exists between the general public purposes of the ordinance provision and the specific application of that provision to the property because:
Please see attached

ii. The proposed use is a reasonable one because:
Please see attached

-or-

b. If the criteria in subparagraph (a) are not established, an unnecessary hardship will be deemed to exist if, and only if, owing to special conditions of the property that distinguish it from other properties in the area, the property cannot be reasonably used in strict conformance with the ordinance, and a variance is therefore necessary to enable a reasonable use of it.

Please see attached

VARIANCE ATTACHMENT

Sky View Acres, LLC (the "Applicant") seeks variances to allow the development of a certain property known as 238 White Oaks Road, Laconia, New Hampshire ("Property"). The Property is 10.63 acres and is burdened by split zoning classifications. The majority of the Property, fronting on White Oaks Road, is located in the R2 Zoning District. The rear section of the Property is located in the R1 Zoning District. The existing home is in disrepair and beyond restoration.

The Applicant initially proposed to develop the Property as a colonial style village with duplex living opportunities served by a circular driveway. The initial development plan included 12 structures with 22 duplex homes. The feedback from the public and the Honorable Board was the proposal was too dense and duplex style homes were not consistent with the area. As discussed at the hearing, the Applicant and it's consulting engineer, returned to the drawing board to revise the project to address the concerns raised at the hearing.

The new proposal is considerably different. The density is substantially reduced and the homes are limited to single-family residences which are harmonious with the character of the neighborhood. The design remains influenced by colonial architecture in the village style consistent with early colonial development. The Applicant contends the existing zoning is dated and does not consider the recent sewer improvements that service the property. Historically, larger lots were required to meet septic requirements and well radius specifications. As sewer is available and intended to service this project, the usual density concerns are not applicable. It is anticipated that, as the City works through the new master plan and amends its zoning ordinance, the classification for this property and others serviced by public sewer will change.

The southwest corner of the Property has a man-made wetland that was created by the parking of farming equipment when the Property was operated as a working farm. The wetland is isolated and has nominal wetland function. The area is dry in all but the spring months. The plan, as discussed with officials at DES, is to fill the area and pay a mitigation fee to the State of New Hampshire.

The proposal is consistent with the cluster zoning permitted in other zones. A condominium is located on the west side of the Property.

RELIEF REQUESTED

The Applicant understands the following relief is required:

235-25 Uses Permitted by Right
235 -Attachment 2 Table of Dimensional Regulations
237-17 Wetlands Conservation and Water Quality Overlay

VARIANCE ELEMENTS

1. Granting the variance would not be contrary to the public interest because:

Under the law as set forth in Harborside Associates, L.P. v. Parade Residence Hotel, I.I.C., 162 N.H. 508 (2011), “[t]he requirement that the variance not be contrary to the public interest is related to the requirement that [it] be consistent with the spirit of the ordinance. [...] As the provisions of the ordinance represent a declaration of public interest *any* variance would in some measure be contrary thereto. Accordingly, to adjudge whether granting a variance is not contrary to the public interest and is consistent with the spirit of an ordinance, we must determine whether the variance would “unduly, and in a marked degree conflict with the ordinance such that it violates the ordinance’s basic zoning objectives. Thus, for a variance to be contrary to the public interest and inconsistent with the spirit of the ordinance, its grant must violate the ordinance’s “basic zoning objectives” [and mere] conflict with the terms of the ordinance is insufficient.” *Id.* at 514. In order for a variance to unduly violate an ordinance’s “basic zoning objectives,” granting the variance must “alter the essential character of the neighborhood” or “threaten the public health, safety or welfare.” *Id.*

Here, the grant of the requested variance will not be contrary to the public interest. More specifically, the grant of the variance will not unduly conflict with the basic objectives of the relevant zoning ordinance as it will not substantially alter the essential character of the area. In fact, the development if approved, will advance the public interest. The density is reduced to twelve homes and is limited to single family residences. The character of the neighborhood is mixed ranging from farm land, large single-family homes, small single-family homes, condominiums and even a motorcycle club.

The structures will be of colonial design in a village composition and will adhere to all applicable building and life safety codes.

2. Granting the variance will not be contrary to the spirit of the ordinance because:

It is important to note that this test is in the negative. That is to say that it does not require the Applicant to prove that the proposed use is *in* the public interest, but only to prove that it is *not contrary to* the public interest.

In keeping with the law as outlined above in *Harborside*, here the spirit of the ordinance element is related to the public interest element and the factors are the same. As such, for the reasons set forth above, the grant of the variance will not be contrary to the spirit of the ordinance.

Moreover, the spirit of the ordinance is still observed as the proposed project will not alter the essential character of neighborhood as the proposed project maintains single family residences. Single family residential use is allowed in the zone.

3. The proposed use would not diminish surrounding property values because:

The value of the improvements and finishes will replace an older building in need of repair. The elevations included with the application speak for themselves. The development will add to the value of surrounding property values and result in a community benefit. The reduced density and limitation to single family residences will address concerns raised in the prior plan. This prong should be considered in the context of what other allowed uses could be developed on the property. During the trip back to the drawing board, the Applicant learned that a campground, subject to state density regulations, is permitted by Special Exception.

4. By granting the variance, substantial justice would be done because:

The loss to the applicant, in the event that a variance is denied, outweighs any gain to the general public. Here, it is not feasible to build an interior road within the property due to cost, land loss and setbacks. The site costs will exceed the value of any lots approved in a classic form of subdivision. The harm to the public is not different than other development. The land will be developed in a positive manner in terms of design and finishes. The project will provide needed new housing in the community of a new design. The tax base will be increased. The public will also benefit from this development as it will negate the ability to construct substantially more units if proposed legislation to allow half acre lots with sewer passes the legislature this session.

5. Denial of the variance would result in unnecessary hardship to the owner owing to the special conditions of the land because:

(A) No fair and substantial relationship exists between the general public purposes of the ordinance and the specific application to the Property.

The zoning classifications established for this property pre-date the recent sewer improvements that service the property. The existing zoning, requiring larger lots and less density was due to the lack of sewer and the need to manage sewer discharge with septic systems with leach fields. The large lots were also required to maintain well radius distances from leach fields. With the arrival of public sewer service, there is no relationship between the purpose of the ordinance and the application to this property. It is believed that if zoned today, the parcel would not be in a R1 or R2 zone. There is no health, safety or welfare benefit to requiring lots with public sewer to be 2 acres in size.

(B) The proposed use is reasonable.

The proposed use is reasonable. The single-family homes proposed are consistent with the single-family requirements in the zone and offer a housing product that is not generally available in the City of Laconia.

LETTER OF AUTHORITY/PERMISSION

The undersigned, being the owner of the property known as 238 White Oaks Road, Map 255, Lot 241-2, hereby grants authority and consent to attorneys at Cronin, Bisson & Zalinsky, P.C. to sign and file ZBA and Planning Board applications and any related materials on my behalf and deliver the same to the Town of Laconia, represent me at any hearing(s) concerning these applications, and perform all other necessary actions in connection with such applications.



Signature

9-22-25
Date

Peter Grenier,
Duly Authorized for Skyview Acres, LLC

FRONT ELEVATION

1

SCALES: 1/4" = 1' 0"

This architectural floor plan illustrates a two-story house with a garage and a rear extension. The main house features a front entrance with a double door, a central hall, and a large living room with a fireplace. The kitchen is located on the left side of the main house, equipped with a sink, a range, and a refrigerator. The dining room is adjacent to the kitchen. The second floor contains three bedrooms and a central hall. The rear extension includes a large sunroom with a fireplace, a bathroom, and a laundry room. A two-car garage is attached to the left side of the main house. The plan also shows a rear extension with a sunroom, a bathroom, and a laundry room. The overall dimensions of the house are 40'0" wide by 60'0" deep.

CALC: $1/4" \times 1" 0"$

LEFT ELEVATION

Δ9.1

TRUTHS AND TRUTHS TO WHICH WE ARE PRINCIPALLY SUBJECTIVE. THESE ARE THE TRUTHS WHICH WE ARE NOT SUBJECTIVE, AND WHICH ARE NOT SUBJECTIVE.

GENERAL NOTES

47200 AND RELATED POLYAMIDES

AREA TABULATION

ROYAL OAKS

CL-18-012
THE ARIANA MARIE
BASEMENT - 10ft MAIN
2 CAR SIDE - STANDARD



Original Draft Date:
08/18/2018
Document Date:
08/20/2018
Document Phase:
DRAFT BY: **SKCQ**

EDUCATION

1 A1.1



REAR ELEVATION

SCALE: 1/4" = 10'

This architectural floor plan illustrates a two-story house with a central entrance and a large rear addition. The main house features a front entrance with a porch, a central hall, and two bedrooms. The rear addition, which is two stories high, contains a large living room, a kitchen, and a dining room. The plan includes detailed dimensions for rooms and overall sections, as well as specific notes for the rear addition's height and the placement of a fireplace. The drawing uses a combination of solid lines for walls and dashed lines for interior partitions and exterior boundaries.

1. **What is the meaning of the term 'sustainable development'?**

ALL STRUCTURAL FRAMING AND HEAVY
STRUCTURAL MEMBERS MUST BE
REINFORCED BY A STRUCTURAL STEEL
DECK OR CONCRETE CONSTRUCTION.
STRUCTURAL STEEL DECKS ARE
NOT ALLOWED.

These structures to support other structures, which remain to support the structures.

critical to prepare these structures.

GENERAL NOTES

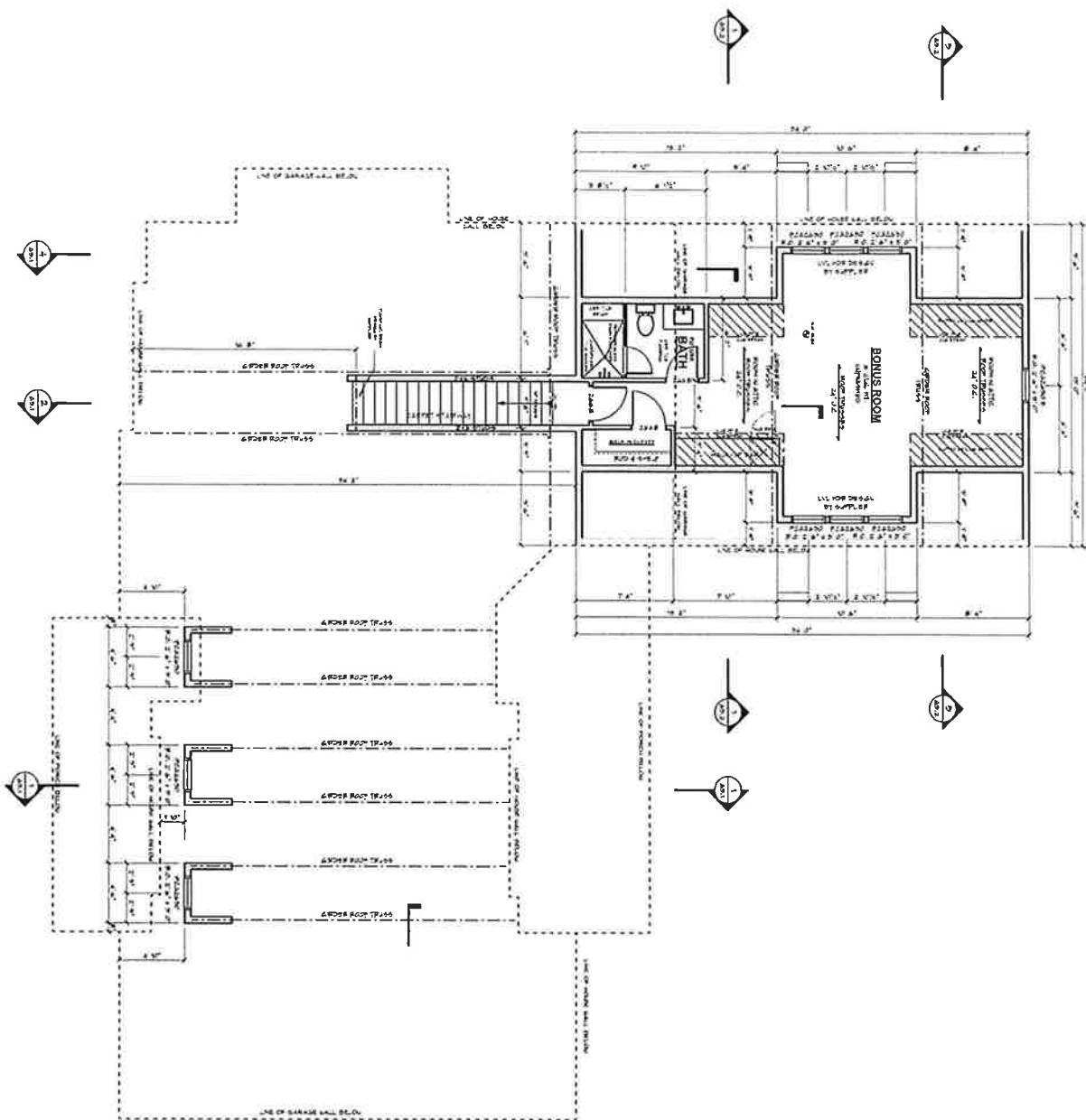
AREA TABULATION

ROYAL OAKS
DESIGN

CL-18-012
THE ARIANA MARIE
BASEMENT - 10ft MAIN
2 CAR SIDE - STANDARD

ELEVATIONS

2
A1.2
8



SECOND LEVEL FLOOR PLAN

5 A2.3

SECOND FLOOR PLAN

8

100% SCALE @ 36" x 24" SCALE 1:144 = 10'

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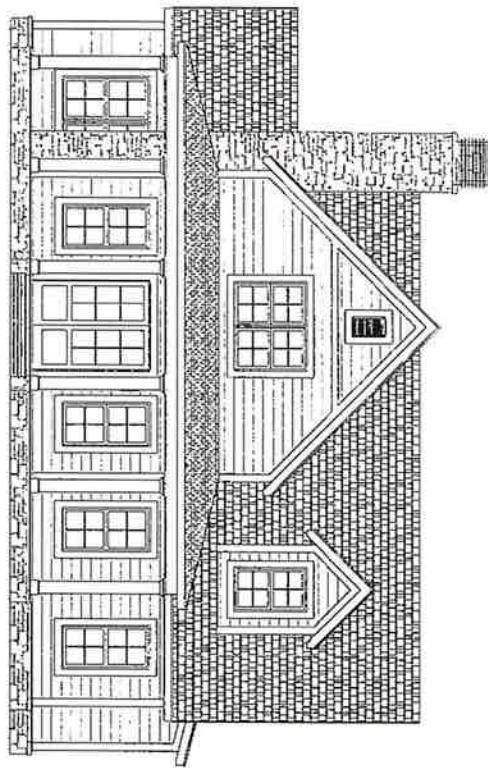
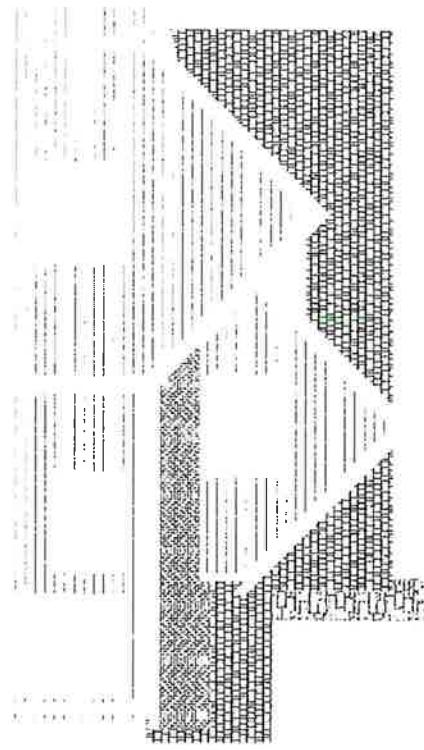
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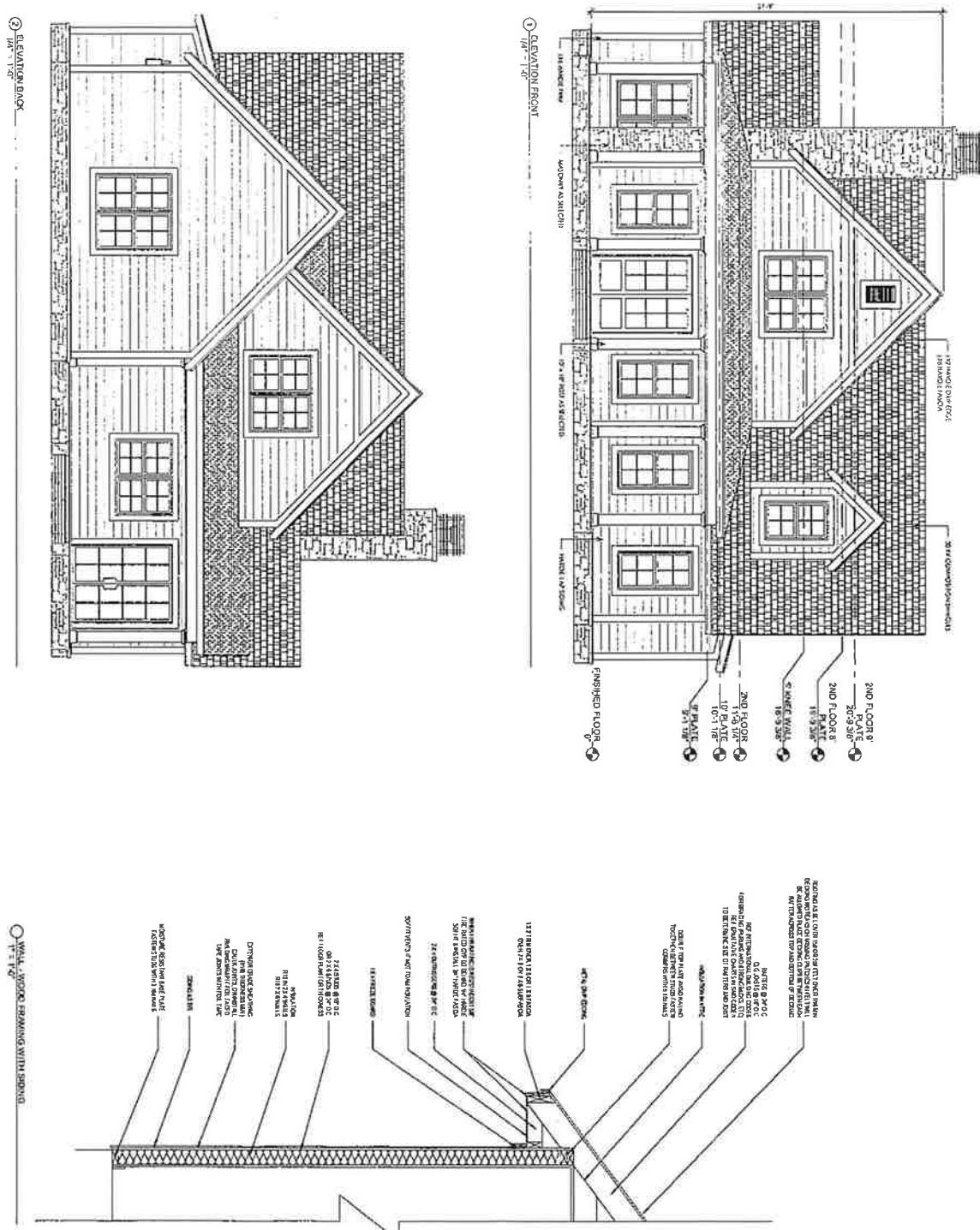
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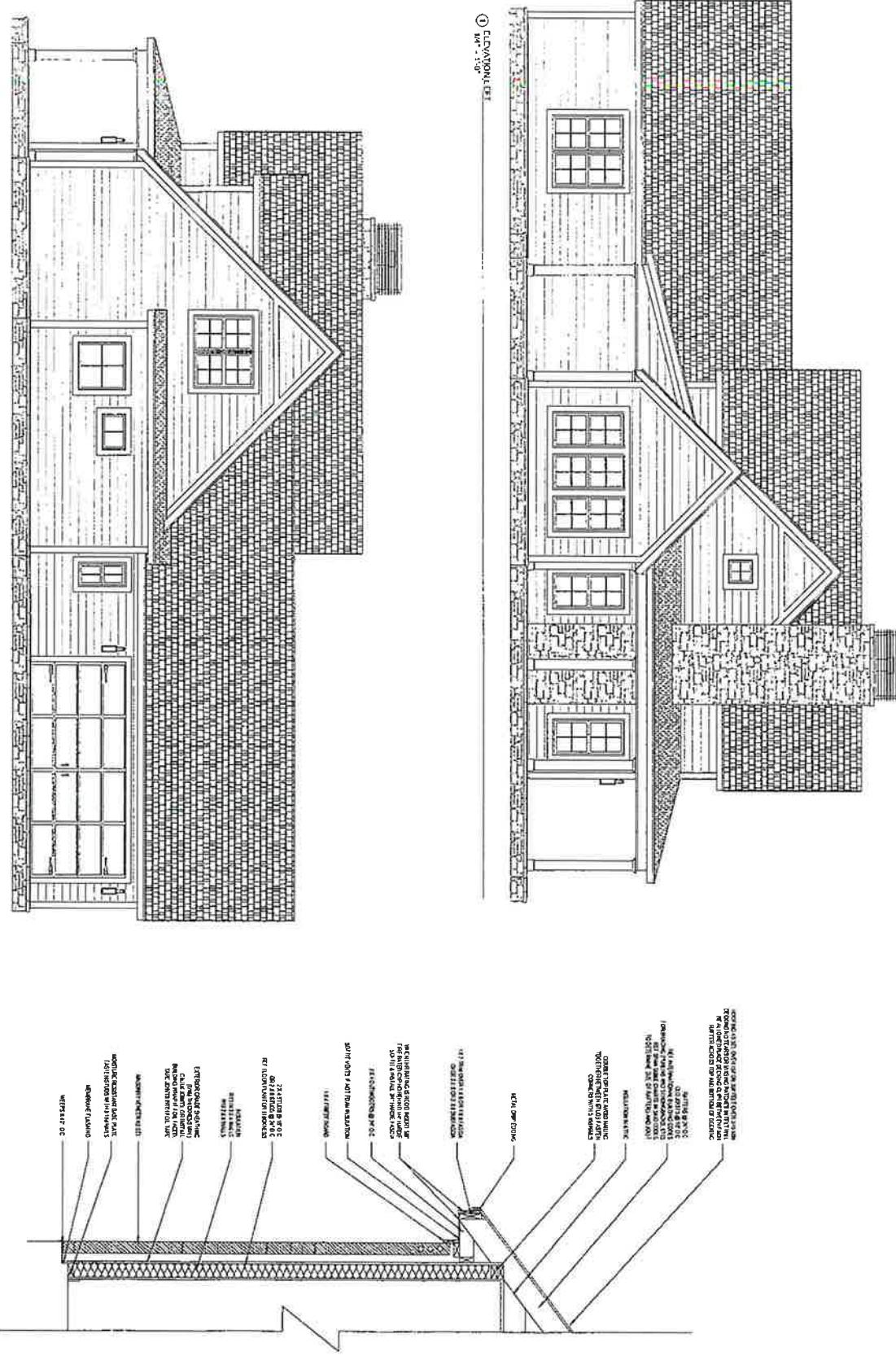
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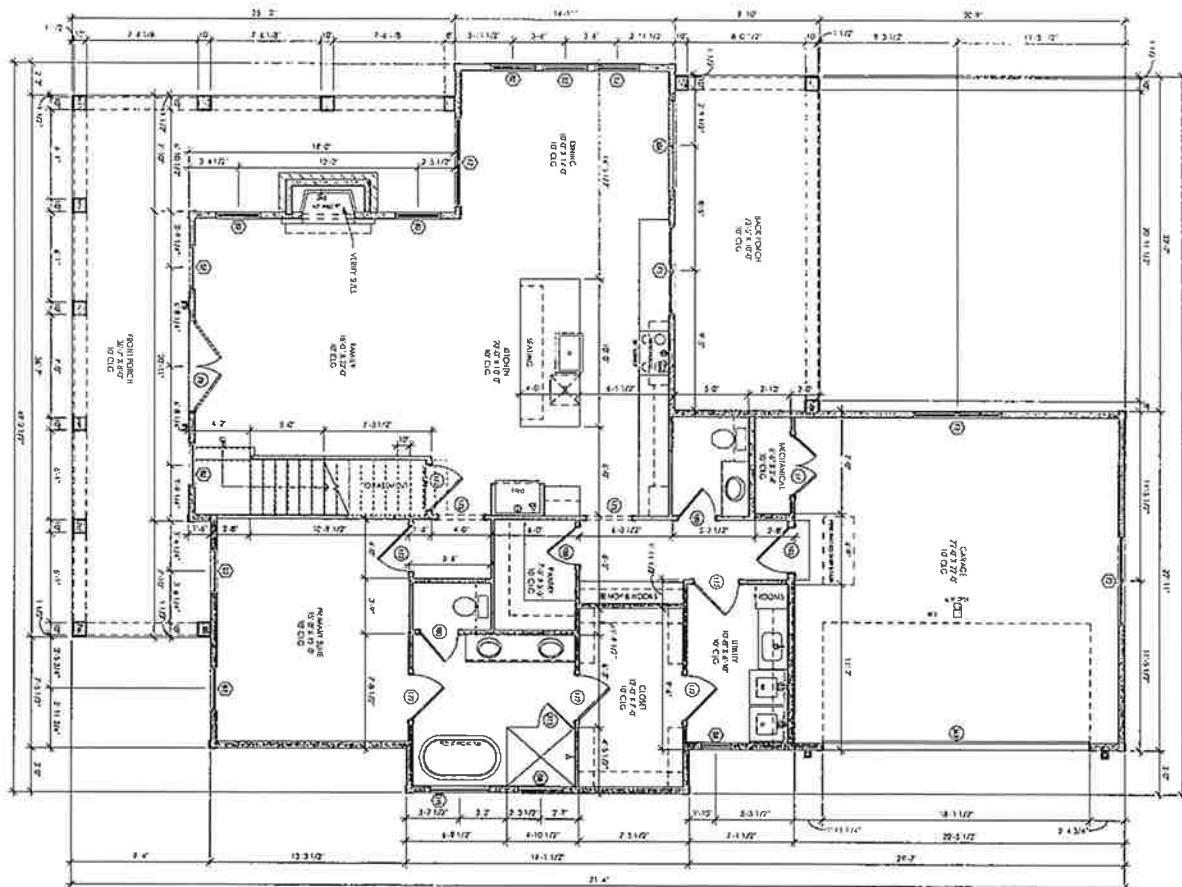
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GENERAL NOTES: _____

LOCATION
STRATEGIC
BACKSTRETCH
FRONT POSITION
CABINAGE
TURBINE

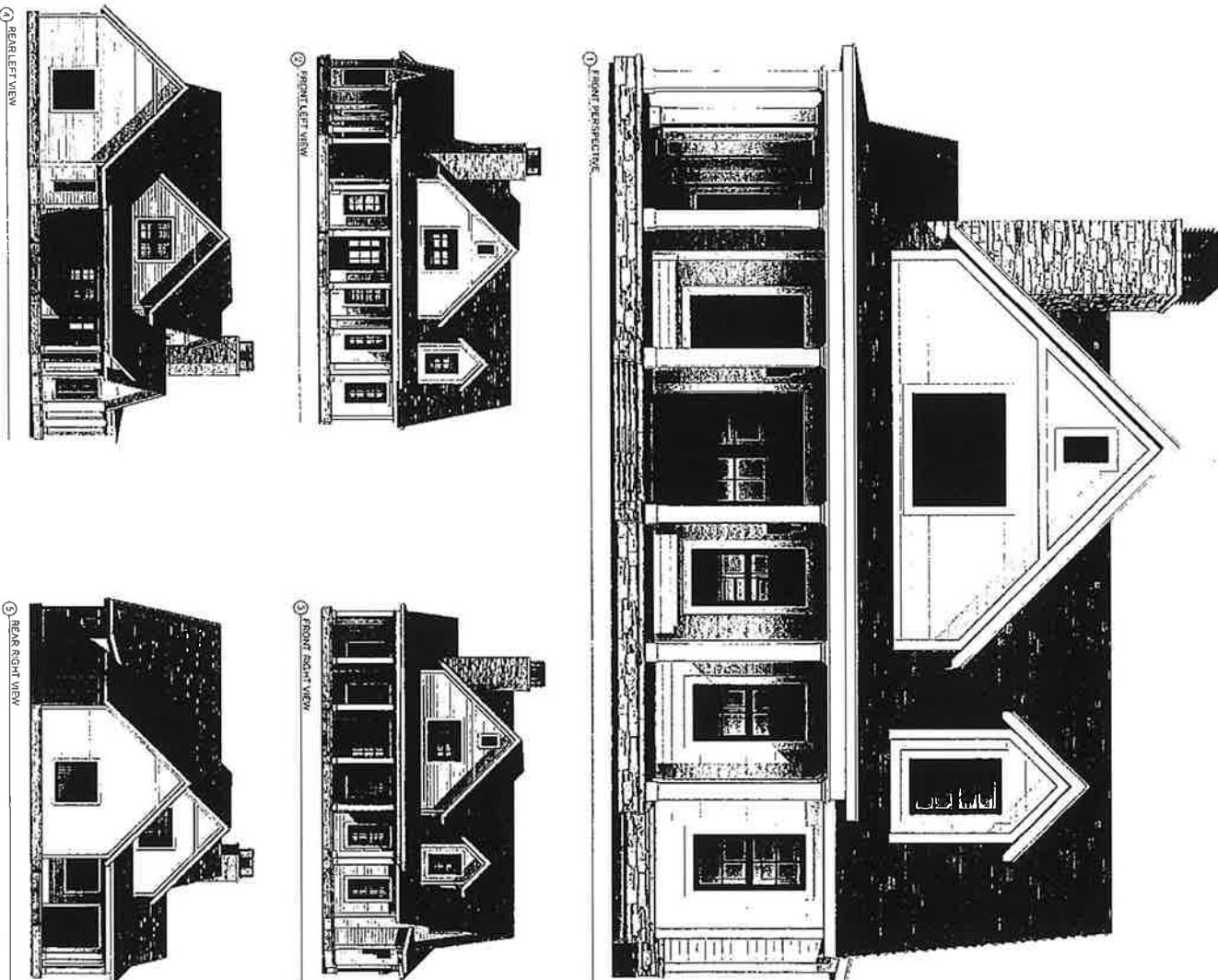
AREA	
1. GARDEN	500 F.T.
2. 1ST FLOOR LIVING	1360 F.T.
3. 2ND FLOOR LIVING	480 F.T.
4. TOTAL LIVING	2300 F.T.

IMPORTANT: REVIEW ELEVATIONS WHEN ORDERING
Failure to review elevation drawings can result in incorrect window placement.

ANTHONY DIONNE
25 SANDBORN ROAD
GIRFORD, NH LOT 3



IMAGINATION DESIGNS, LLC
WWW.IMAGINATIONDESIGNS.ORG

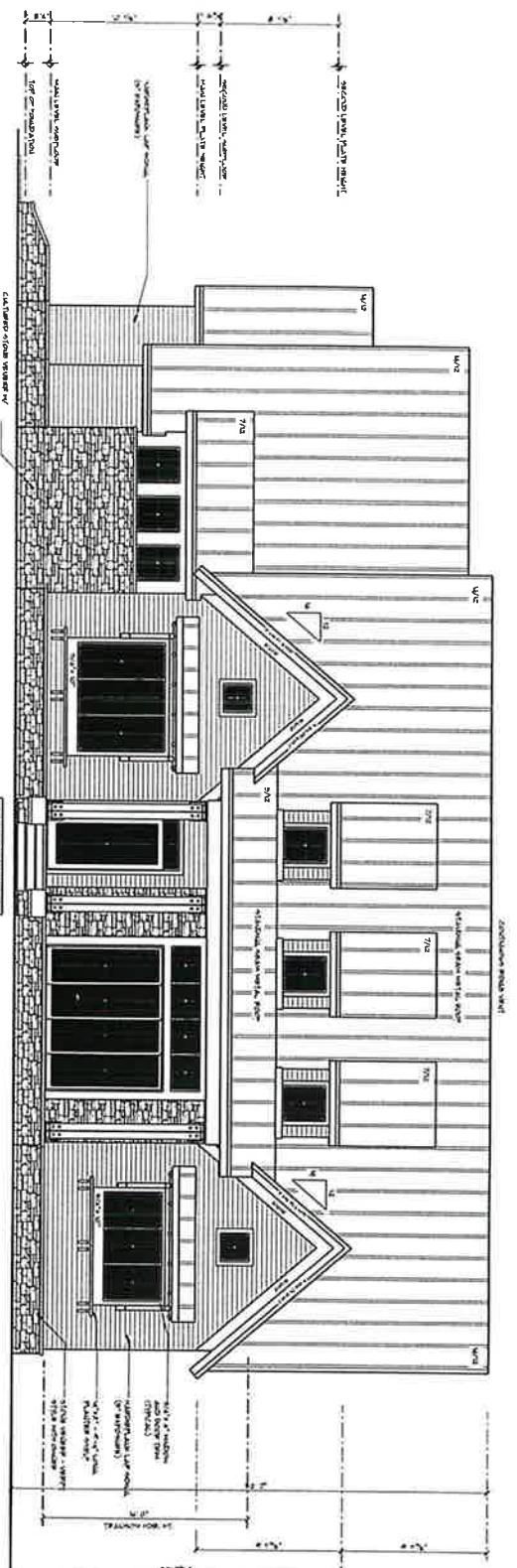






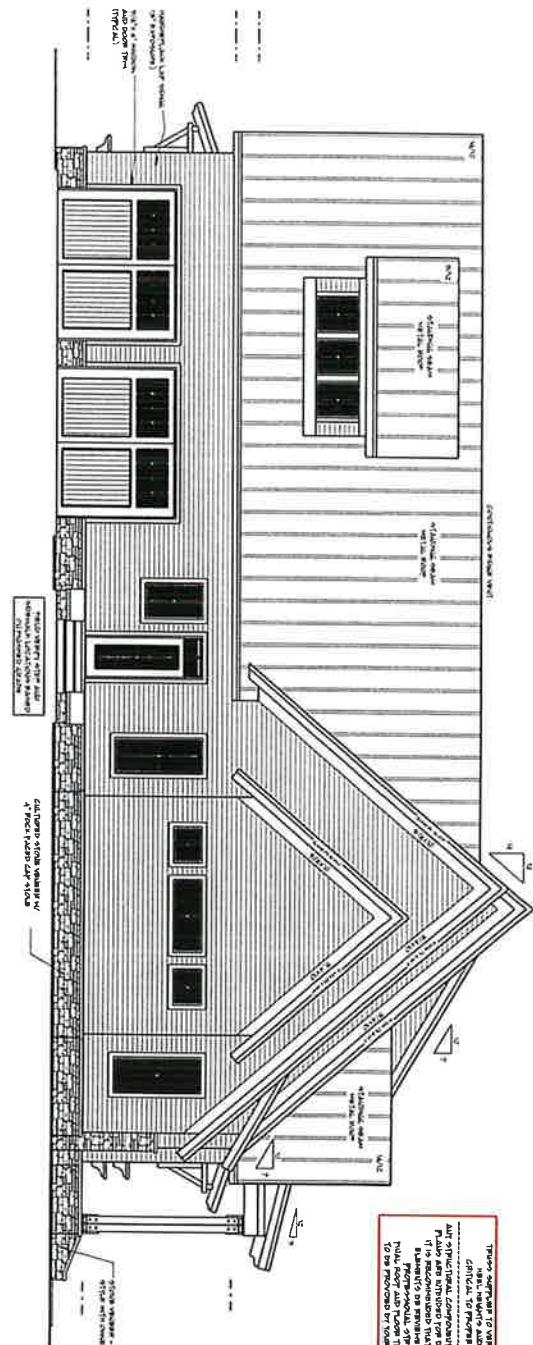
FRONT ELEVATION

SCALE 1/8" = 1' 0"



LEFT ELEVATION

96081 114-210



TRADITIONAL
SOCIETY
AND
THEIR
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WILL
NOT
DISAPPEAR
IMMEDIATELY
BUT
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AND
CIVILISATION
THAT
IS
BEING
CREATED
BY
THE
NEW
SOCIETY
AND
THE
NEW
CIVILISATION.

GENERAL NOTES

— ALL AMERICAN BAPTISTS ARE BAPTISTS. ALL BAPTISTS ARE NOT AMERICAN. —

CL-18-012
THE ARIANA MARIE
BASEMENT - 10ft MAIN
2 CAR SIDE - STANDARD



www.globeairways.com
for more of our plane or
to request modifications.

Original Draft Date: 08/18/2018
Document Date: 08/24/2024
Document Phase:

Drawn by: SKO

-2-

A1.1

ROYAL OAKS
DESIGN

238 WHITE OAKS RD

Location 238 WHITE OAKS RD **Mblu** 255/ 241/ 2/ /
Acct# 5785 **Owner** SKYVIEW ACRES LLC
Assessment \$869,300 **2845**
Building Count 1

Current Value

Assessment			
Valuation Year	Improvements	Land	Total
2024	\$625,300	\$244,000	\$869,300

Owner of Record

Owner SKYVIEW ACRES LLC **Sale Price** \$1,225,000
Co-Owner
Address PO BOX 1926 **Book & Page** 3637/0238
CONCORD, NH 03302 **Sale Date** 08/19/2024
Instrument 00

Ownership History

Ownership History					
Owner	Sale Price	Book & Page	Instrument	Sale Date	
SKYVIEW ACRES LLC	\$1,225,000	3637/0238	00	08/19/2024	
TOUART DOROTHY IRWIN THE TRUST	\$4,000	1489/0845	1F	09/17/1998	
TOUART DOROTHY I	\$0	/0		09/17/1998	

Building Information

Building 1 : Section 1

Year Built: 1905
Living Area: 4,762

Building Attributes	
Field	Description
Style:	Colonial
Model	Residential
Grade:	Good

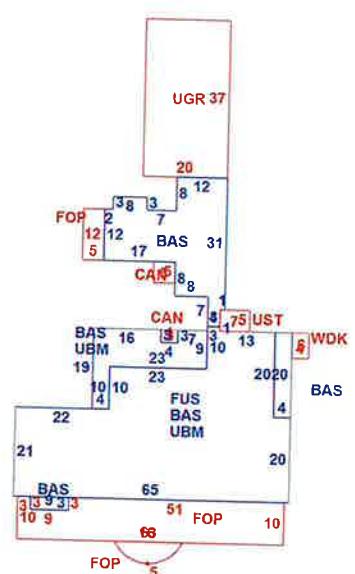
Stories:	2 Stories
Occupancy	1
Exterior Wall 1	Clapboard
Exterior Wall 2	
Roof Structure:	Gambrel
Roof Cover	Asph/F Gls/Cmp
Interior Wall 1	Plastered
Interior Wall 2	Drywall/Sheet
Interior Flr 1	Hardwood
Interior Flr 2	
Heat Fuel	Oil
Heat Type:	Hot Water
AC Type:	None
Total Bedrooms:	5 Bedrooms
Total Bthrms:	3
Total Half Baths:	1
Total Xtra Fixtrs:	
Total Rooms:	11 Rooms
Bath Style:	Average
Kitchen Style:	Average
Num Kitchens	01
Cndtn	
Num Park	
Fireplaces	
Fndtn Cndtn	
Basement	
Usrfld 706	

Building Photo



(https://images.vgsi.com/photos/LaconiaNHPhotos/0020/5785_20625.jpg)

Building Layout



(ParcelSketch.ashx?pid=2845&bjd=3270)

Building Sub-Areas (sq ft)			<u>Legend</u>
Code	Description	Gross Area	Living Area
BAS	First Floor	2,864	2,864
FUS	Upper Story, Finished	1,898	1,898
CAN	Canopy	37	0
FOP	Porch, Open, Finished	720	0
UAT	Attic, Unfinished	444	0
UBM	Basement, Unfinished	2,169	0
UGR	Garage, Unfinished	740	0
UST	Utility, Storage, Unfinished	35	0
WDK	Deck, Wood	24	0
		8,931	4,762

Extra Features

Extra Features				<u>Legend</u>
Code	Description	Size	Bldg #	
FPL	FIREPLACE	3.00 UNITS		1

Land

Land Use

Use Code 1010
Description SINGLE FAM MDL-01
Zone RR2
Neighborhood AVERAGE
No

Land Line Valuation

Size (Acres) 10.63
Frontage 0
Depth 0
Assessed Value \$244,000

Category

Outbuildings

Outbuildings		<u>Legend</u>
No Data for Outbuildings		

Valuation History

Assessment			
Valuation Year	Improvements	Land	Total
2024	\$625,300	\$244,000	\$869,300
2023	\$602,300	\$228,200	\$830,500
2022	\$443,500	\$193,600	\$637,100

September 26, 2025

John Cronin, Esquire
722 Chestnut Street
Manchester, NH 03104

Re: 238 White Oaks Road
Laconia NH 03087
Owners: Skyview Acres LLC

Dear Attorney Cronin:

In accordance with your request, I have viewed the subject site which currently has a single-family residence on 10.63 acres. From my review of the Zoning Board of Adjustment Variance Application dated 9/24/2025, it is my understanding that the applicant is seeking approval to build a residential development of 12 single family homes. The subject property is in a residential zone.

You have asked me to evaluate the proposed development in relation to residential properties in the immediately surrounding area to provide an opinion as to whether the completion of the proposed project would have any negative impact on the values of abutting and nearby residential properties. The immediate vicinity where the subject property is located is residential in nature and consists primarily of single-family homes of diverse sizes and styles. However, there are also townhouse style condominiums and there is or was a motorcycle club along White Oaks Road.

This is a consulting assignment. The intended use of this report is to provide information to the client regarding the applications for variances and special exceptions in the effort to receive approval from the City of Laconia Zoning Board of Adjustment for the proposed project. The intended users of this report are the owners, Skyview Acres LLC, agent Attorney John Cronin, as well as the City of Laconia Zoning Board of Adjustment.

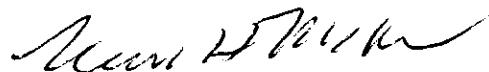
I have visited the subject site and driven through the streets of the immediately surrounding area. It is my understanding that, as part of the design, an ample buffer of trees will be left on the sides and rear of the property. A review of the proposed plan shows that density has been substantially reduced from the original proposal to now only include 12 single family detached units.

In order to provide an opinion relative to the possible impact the proposed project might have on the values of surrounding residential properties, I researched areas where more densely populated residential developments of single-family homes (as well as condominium complexes) existed near single family detached homes. I viewed sales of homes near these existing developments and complexes and compared them to sales of similar homes that are distant from such developments. Not in any of these cases did I find that the presence of a well-planned cluster development or condominium development had any negative impact on the market values of surrounding properties.

As noted above, there are already more densely populated developments along White Oaks Road in the form of several condominium complexes.

In summary, I visited the property at 238 White Oaks Road, Laconia, NH and drove through the streets in the surrounding area. I viewed other housing projects in the region in relation to residential homes in those immediate areas. Based on my 37 years of experience as a residential appraiser in New Hampshire, coupled with my education and training, my personal inspection of the subject property and surrounding areas, and a review of residential properties in close proximity to similar housing projects, it is my opinion that the proposed use for 238 White Oaks Road, Laconia, NH will not diminish the value of surrounding residential properties.

Respectfully Submitted,



Mark H. McKeon, President
NHCR-03

Mr. A. Bonamo and Mrs. E. Funnell
60 White Oaks Road, Unit 20
Laconia, NH 03246
Tel: (973)-978-3113
Email: abonamo@yahoo.com

Sent by Email Only

City of Laconia Planning Department
Zoning Board
45 Beacon Street East
Laconia, NH 03246
planning@laconianh.gov

November 14, 2025

Re: 238 White Oaks Road, Laconia, NH 03246, Application No. ZB2026-018

Dear Board Members,

We submit the following in support of the above referenced application submitted by Skyview Acres, LLC. We had hoped to be able to attend the meeting on November 17, 2025 in person to express our strong support for same, but unfortunately we are unable to be present on said date. We had, in fact attended the prior meeting on October 20, 2025 in person, but appreciate that the matter was continued to the next meeting.

While we fully understand people's hesitation and concerns when it comes to the words "development" and "developers", we do not believe that the Board and the City of Laconia should shy away from it in this instance. Development is inevitable and we need to focus on the positivity it brings to the area and ensure that it is performed properly and to the highest standard.

As a couple who previously lived in Gilford, it took us over three and a half years to find a home that we liked in this area. We looked in Gilford, Meredith, Alton and Laconia. We viewed numerous developments and homes, but there was nothing we liked until we found a unit built by Mr. Grenier's company. Throughout the entire process, Mr. Grenier and the other owners of the development, including Mr. Dionne, have stood by every word they have said. Their standard of work far exceeds that of any other developer in the area and they take great care and pride in everything they do. Of significance, our development is still being completed and we can attest that Mr. Grenier is present each and every day overseeing matters and ensuring that there are no issues. There is also no time of day that we are unable to speak with Mr. Dionne and he has turned up at 9.00 p.m. on a Friday night to address what was then a minor issue. We highlight this as it is important for the City of Laconia and the residents of White Oaks Road to hear how much these developers care.

We can also attest to conversations with our neighbor who lives on the plot of land next to our unit and without any solicitation, the neighbor stated that he had many conversations with

Mr. Grenier throughout the entire process of the building of our development and he also only had positive words to say about these developers.

It is clear that the spirit of the community is important to residents on White Oaks Road, and that is what is key here. These developers are local to the area and truly care not only about the area, but also the people in it. I would urge not only the Board, but also any individual who opposes this development to consider the ramifications of obstructing this development. The City of Laconia and the residents of White Oaks Road should relish the opportunity to be able to work alongside these developers and embrace the beautiful homes they produce in a professional and community-friendly manner. We have no doubt that they will do everything possible to bring the positive elements and benefits of development to this area.

The application for just 12 single-family units will have no effect on the aesthetics, character, or spirit of White Oaks Road. Rather, the homes will enhance the area and allow the City of Laconia to continue its gentrification – something we should all embrace.

Thank you for your consideration and should you require any additional information, please feel free to contact us.

Kind regards,

/s/ Alex Bonamo

/s/ Emma Funnell

Alex Bonamo and Emma Funnell



CITY OF LACONIA
DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

45 Beacon Street East
Laconia, NH 03246
Phone: (603) 527-1264
Fax: (603) 524-2167

Email: Planning@Laconianh.gov



NOTICE OF PUBLIC HEARING

You are hereby notified of the following application to be submitted to the Laconia Zoning Board of Adjustment at its next meeting. A public hearing for each of these applications may be held following presentations by the applicants. During the public hearings, the Public may provide input on the applications. After a public hearing, the Board may deliberate and act on each application. Notification of this hearing is being made in accordance with RSA 676:7.

The application, plans, and details will be posted online at www.laconianh.gov prior to the meeting. These same documents are also available for review at the Department of Planning and Community Development at the Laconia City Hall during regular office hours. Written comments may be submitted to the Board prior to the hearing via the email and physical addresses above. This is a public meeting, and you are invited to attend.

MEETING INFORMATION

Date: MONDAY OCTOBER 20TH, 2025

Time: 6:30PM

Location: CITY HALL, 45 BEACON STREET EAST, ROOM 200A

SUMMARY OF APPLICATION #ZB2026-018 VAR

Owner(s) of Record: SKYVIEW ACRES LLC

Applicant(s): SKYVIEW ACRES LLC

Parcel Address: 238 WHITE OAKS RD

Parcel ID: 255/24/2

Zoning District: RR2 RESIDENTIAL RURAL 2

Ordinance Cited: §235-25 USES PERMITTED BY RIGHT, 235 ATTACHMENT 2 TABLE OF DIMENSIONAL REGULATIONS & § 235-17 WETLANDS CONSERVATION AND WATER QUALITY OVERLAY.

Proposal: The applicant is seeking a variance from §235-25 Uses Permitted by Right, 235 Attachment 2 table of dimensional regulations, 235-17 Wetlands conservation and water quality overlay to allow for 12 single family residences.



RECEIVED

DEC 17 2021

City of Laconia
Planning Board

Application #: ZB2026-028
Fees Paid: \$125.00
Check #: 849
Receipt #: 711149

ZONING BOARD OF ADJUSTMENT
MOTION FOR REHEARING

Name of Applicant: SCOTT BERRY + PATRICIA MARCHETTI

Mailing Address: P.O. Box 5243, LACONIA NH 03247

Owner (If same as applicant, write "same"): NEBRON LLC (SAME PEOPLE AS ABOVE)

Mailing Address: SAME

Tax Map Lot # (s): 278-28 Zoning District (s): CR/PR1

Street Address: 43 White Oaks Rd, LACONIA NH 03246

OWNER AUTHORIZATIONS & STATEMENTS OF ASSURANCE:

I hereby make application to the City of Laconia for the above-referenced property (ies) and the development as described. To the best of my knowledge the information provided herein is accurate and is in accordance with the Zoning Ordinance and land use regulations of the City, except where waivers are requested. The City of Laconia Zoning Board and/or city employees are authorized to enter the property (ies) for purposes of reviewing this proposal and for inspecting improvements as a result of an approval of this proposal. I understand that I am responsible for appearing, or having someone appear on my behalf, at any and all meetings before the Zoning Board.

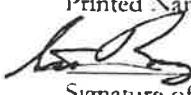
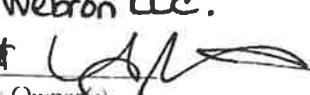
Sign as appropriate (If agent or non-person please attach certification)

NOTE: Please attach an Applicant Contact Worksheet

PROPERTY OWNER(S)

Scott Berry + Patricia Marchetti

Printed Name Here: Nebron LLC

 + 

Signature of Property Owner(s)

12-17-25

Date

AGENT(S)

Printed Name Here

Signature of Agent(s)

Date

Rehearing Request for Application #: ZB2026-022

As provided for by RSA 677:2, any party to the action or any person directly affected thereby may move for a rehearing in respect to any matter determined in the decision and must specify such grounds in the motion for rehearing. The Zoning Board of Adjustment may grant a rehearing if, in the opinion of the Board, there is sufficient reason presented in the applicant's motion for rehearing.

SUBMIT RESPONSE IN ACCORDANCE ARTICLE XI SECTION 235-69 C (7) AND RSA 677:2

DUE AT SUBMISSION

10 COPIES OF ENTIRE ZONING BOARD APPLICATION WITH REQUIRED ATTACHMENTS

Scott Berry-Patricia Marchetti / Webron LLC
43 White Oaks Rd
Laconia NH 03246
603-289-4515 & 339-222-0471 Trish@HousesByTrish.com
December 17, 2025

Zoning Board of Adjustment

Dear Members of the Zoning Board,

I am writing regarding **Application #ZB2026-022** as an abutter to the subject property located at 33 White Oaks Rd, Laconia. We are concerned about the variance that was granted on November 17th, 2025 and the impact it will have on our property.

The approved variance allows for the construction of three additional homes (refer to house lot 6 on the map) to be built significantly closer to our property boundary line. This approval directly affects our property's privacy and may negatively impact its value and overall enjoyment.

Due to an incorrect mailing address on file with the Assessor's Office, we did not receive notice of the meeting and were therefore unable to attend or voice our concerns prior to the variance being granted.

While we understand and respect our neighbor's desire to develop their property, it is equally important to consider the rights and impacts on surrounding abutters. In this case, the granted variance creates a substantial and lasting effect on our property.

For these reasons, we respectfully request that the Board reconsider the decision regarding this variance so that exhibit A is allowed and exhibit B is not granted.

Thank you for your time and consideration. We appreciate the Board's attention to this matter and the opportunity to be heard.

Respectfully,

Scott Berry and Patricia Marchetti



RECEIVED

OCT 24 2025

City of Laconia
Planning/Zoning

Application #: ZB2025-022
Fees Paid: \$205.00
Check #: 53247
Receipt #: _____

ZONING BOARD OF ADJUSTMENT
VARIANCE APPLICATION

Name of Applicant: Scott Buonopane

Mailing Address: 217 Middlesex Turnpike, Burlington, Massachusetts

Owner (If same as applicant, write "same"): Daniel A. Greenhalgh

Mailing Address: 18 Tenney Road, Pelham, NH, 03076

Tax Map/ Lot # (s): 278/241/29 Zoning District (s): CR / RR-1

Street Address: 33 White Oaks Road

OWNER AUTHORIZATIONS & STATEMENTS OF ASSURANCE:

I hereby make application to the City of Laconia for the above-referenced property (ies) and the development as described. To the best of my knowledge the information provided herein is accurate and is in accordance with the Zoning Ordinance and land use regulations of the City, except where waivers are requested. The City of Laconia Zoning Board and/or city employees are authorized to enter the property (ies) for purposes of reviewing this proposal and for inspecting improvements as a result of an approval of this proposal. I understand that I am responsible for appearing, or having someone appear on my behalf, at any and all meetings before the Zoning Board.

Sign as appropriate (If agent or non-person please attach certification)

NOTE: Please attach an Applicant Contact Worksheet

PROPERTY OWNER(S)

Daniel Greenhalgh

Printed Name Here

Signature of Property Owner(s)

Date

AGENT(S)

Ari B. Pollack, Esq.

Printed Name Here

CB.

Signature of Agent(s)

10.23.25

Date

NOTE: This application is not acceptable unless all required statements have been made. Additional information may be supplied on a separate sheet if the space provided is inadequate.

REQUIRED ATTACHMENTS:

- Abutters List (from <https://www.axisgis.com/LaconiaNH/>)
- Envelopes and Certified Mail Receipts (Filled out for all abutters)
- Plot Plan (Showing dimensions of proposed building, setback requirements, and encroachments into any setbacks.)

DUE AT SUBMISSION:

10 COPIES OF ENTIRE ZONING BOARD APPLICATION WITH REQUIRED ATTACHMENTS

A variance is requested from article 235 section 15.C(2) of the Zoning Ordinance to permit Application of the CR District dimensional requirements for a distance of 500' from the District boundary whereas 100' is otherwise allowed (See, Exhibits A and B)

Facts in support of granting the Variance:

1. Granting the variance would not be contrary to the public interest because:

The majority of the buildable areas are located in the CR District and the surrounding areas are buffered by undevelopable wetlands.

2. If the variance were granted, the spirit of the ordinance would be observed because:

The majority of the buildable lot area is located in the CR District, which allows for higher density.

3. Granting the variance would do substantial justice because:

The resultant development will be cohesive and apply one set of standards versus a disjointed layout separated by an arbitrary zoning divide.

4. If the variance were granted, the values of the surrounding properties would not be diminished because:

The majority of the site will be single family homes built per CR District requirements, and match surrounding properties.

5. Unnecessary Hardship

a. Owing to special conditions of the property that distinguish it from other properties in the area, denial of the variance would result in unnecessary hardship because:

i. No fair and substantial relationship exists between the general public purposes of the ordinance provision and the specific application of that provision to the property because:

The 100' extension provision sets an arbitrary measurement which, as applied, awkwardly divides the subject parcel and would result in two different development programs on a single lot.

ii. The proposed use is a reasonable one because:

The effect of the variance would be having one set of restrictions apply to all of the buildable land as opposed to two different standards applying uniformly across the parcel.

-or-

b. If the criteria in subparagraph (a) are not established, an unnecessary hardship will be deemed to exist if, and only if, owing to special conditions of the property that distinguish it from other properties in the area, the property cannot be reasonably used in strict conformance with the ordinance, and a variance is therefore necessary to enable a reasonable use of it.

The subject property is distinguishable by size and having an area orphaned between the CR District and undevelopable wetlands. A variance is necessary to establish a uniform set of restrictions that would apply to the whole development and produce a typical residential development.

EXHIBIT A - Warrant Pursuant to

33 WHITE OAKS RD
LA COCKA, NEW HAMPSHIRE

SFR PER

1. WILL YOU USE A CHILD CARE CENTER, NURSERY, DAY CARE CENTER, OR DAY CARE SERVICE?	1. IF YES, WILL YOU USE A CHILD CARE CENTER, NURSERY, DAY CARE CENTER, OR DAY CARE SERVICE?
2. IF YES, WILL YOU USE A CHILD CARE CENTER, NURSERY, DAY CARE CENTER, OR DAY CARE SERVICE?	2. IF YES, WILL YOU USE A CHILD CARE CENTER, NURSERY, DAY CARE CENTER, OR DAY CARE SERVICE?
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5. IF YES, WILL YOU USE A CHILD CARE CENTER, NURSERY, DAY CARE CENTER, OR DAY CARE SERVICE?	5. IF YES, WILL YOU USE A CHILD CARE CENTER, NURSERY, DAY CARE CENTER, OR DAY CARE SERVICE?

A hand-drawn map of a building complex, likely a residence or institutional building, showing various rooms and their layout. The map is enclosed in a dashed rectangular border. The rooms are outlined in black and numbered from 1 to 16. A yellow line highlights a path or corridor that starts from the left side, goes up, then down, then right, ending near room 10. Another yellow line is located on the far left. A vertical dashed line on the right is labeled 'R.R. 2' with an arrow pointing upwards. A vertical dimension line on the left indicates a height of '100'-1". A small label 'S. 100' is located near the top center. The map is oriented with a north arrow pointing upwards.

CONCEPTUAL SITE PLAN 1

卷之三

Higher Bond

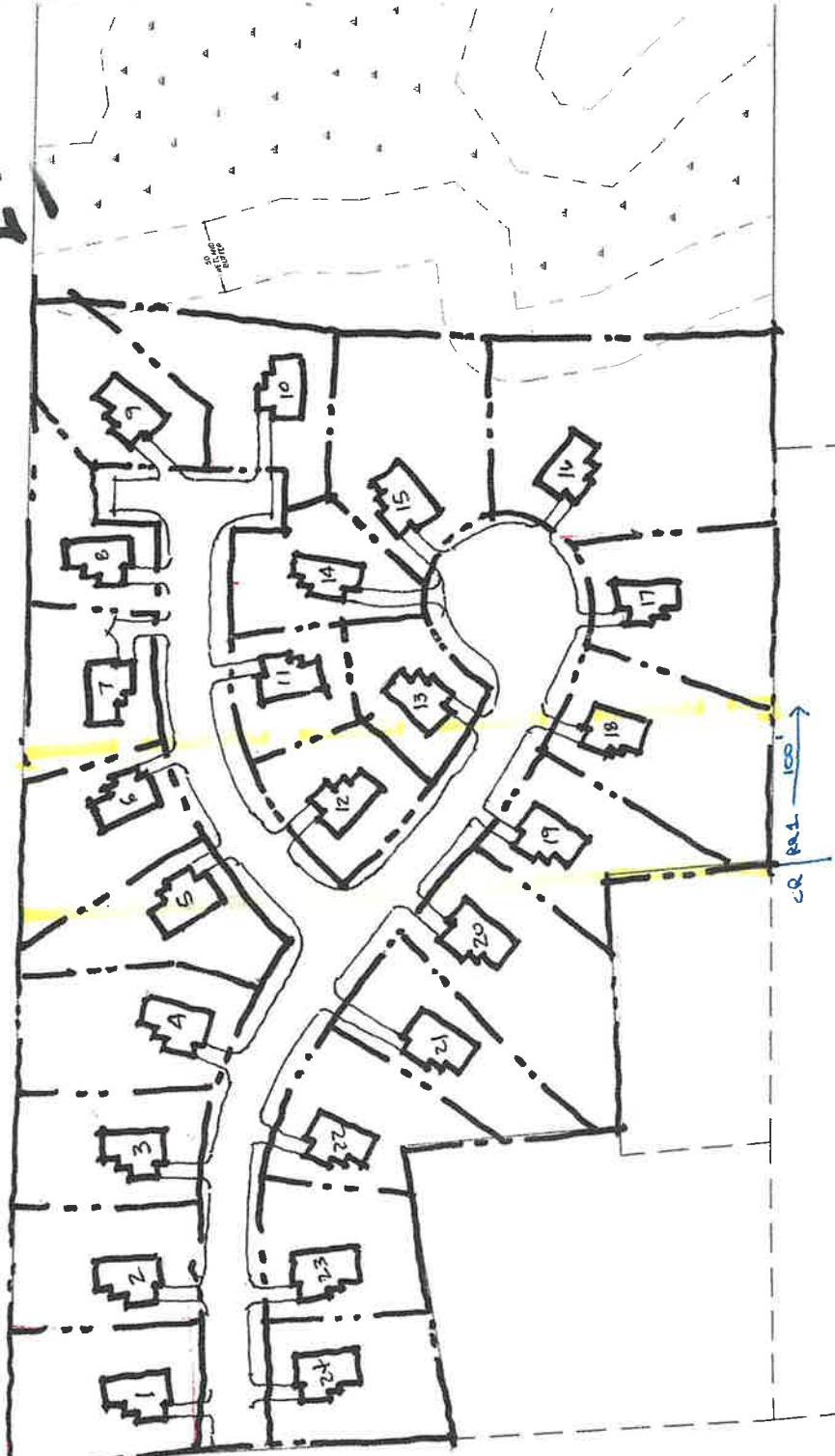
177 Corporate Drive
Portsmouth, NH 03801
(603) 433-8818

THE PRACTICAL USE OF THE BIBLICAL HISTORIES

33 WHITE OAKS RD
LACONIA, NEW HAMPSHIRE

542

WISHLIST
CAROUSEL
MESSAGES



CONCEPTUAL SITE PLAN 1

卷之三

Tice & Bond

177 Corporate Drive
Portsmouth, NH 03801
(603) 433-8818